

Notice is hereby given that an ordinary meeting of the Horowhenua District Hearings and Regulatory Committee will be held on:

Date: Wednesday 1 April 2026
Time: 1:30 pm
Meeting Room: Council Chamber
Venue: 126-148 Oxford St
Levin

Hearings and Regulatory Committee

OPEN AGENDA

MEMBERSHIP

Chairperson Cr Clint Grimstone
Councillors Cr David Allan
Cr Mike Barker
Cr Sam Jennings
Cr Lani Ketu
Mayor Bernie Wanden

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Full Agendas are available on Council's website
www.horowhenua.govt.nz

Full Agendas can be viewed at:
Horowhenua District Council Service Centre, 126 Oxford Street, Levin

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File No.: 26/160

Development Contributions Remission: Compassion Housing - 1-40 Cambridge Place, Levin

Author(s)	Catherine Taylor Planning Technician
Approved by	Bella Blenkin Senior Resource Consent Planner
	Blair Spencer Group Manager Housing & Business Development Tumu Rangapū, Whakawhanake Wharenoho, Pakihi
	Monique Davidson Chief Executive Officer Tumuaki

PURPOSE | TE PŪTAKE

1. This report has been prepared in order to inform the Hearings Panel, in the matter of the request for remission of Development Contributions made by Compassion Horowhenua Limited Partnership in relation to the Development Contributions imposed on Building Consent 100/2025/420 (plans attached as Appendix A). Compassion Horowhenua Limited Partnership is the applicant for this project and is undertaking an integrated residential development, being the construction of 11 new one bedroom units at 1–40 Cambridge Place, Levin. The site is owned by Compassion Horowhenua Limited Partnership.

This matter does not relate to a current Council priority.

EXECUTIVE SUMMARY | TE WHAKARĀPOPOTOTANGA MATUA

2. This report has been prepared to help the Hearings Panel consider a request from Compassion Horowhenua Limited Partnership to waive the development contributions charged for a new affordable housing project at Cambridge Place in Levin. The project involves building eleven new one bedroom units designed specifically for older residents on a site that has long been used for social housing.
3. The site already contains existing residential units that have provided housing for elderly residents for many years. Compassion Horowhenua purchased the wider social housing portfolio from Council in 2017 and has continued to operate the units as affordable accommodation for older people with limited income. Demand for these units remains high, with waiting lists and consistently strong occupancy levels showing that the need for this type of housing in the district is ongoing.
4. The current project will add eleven new units to help meet that demand. The homes are being designed to suit elderly residents, with accessible layouts, modest floor areas, and features that help keep living costs low, including solar panels and energy efficient design. The development is partly funded through the Ministry of Housing and Urban Development Affordable Housing Fund, which requires the homes to be rented at below market rates for

at least fifteen years. This means the project will continue to provide genuine affordable housing for the community well into the future.

5. When the building consent was granted, development contributions of \$117,642.08 were assessed under the current Development Contributions Policy. Compassion Horowhenua has formally requested that these charges be fully remitted. The request has been made within the required timeframe and relies on the policy provisions that allow contributions to be reduced or waived where a development provides a significant community benefit, particularly where the project is social or affordable housing delivered by a charitable or community housing provider.
6. After reviewing the policy criteria, the proposal is considered to meet the threshold for community benefit. The additional units will increase the supply of affordable housing for elderly residents, help people remain in the district as they age, and reduce hardship for those with limited financial means. These outcomes align with the intent of the Development Contributions Policy, which recognises that certain developments provide wider social value beyond the individual site.
7. Council's Chief Financial Officer has also confirmed that the cost of the remission can be funded through alternative sources allowed under the policy, meaning the remission would not prevent Council from meeting its infrastructure funding obligations. In addition, all required infrastructure for the development is being provided by the applicant, and no new assets are being vested in Council.
8. For these reasons, the report recommends that the Hearings Panel consider whether remission or reduction of the assessed development contributions is appropriate in this case. While this means Council may not collect the full assessed amount, the loss of revenue is relatively small compared with the long term community benefit of providing additional affordable housing for older residents in the district. The Panel may choose to grant remission (full or partial), reduction, or no change to the assessed development contributions, but the overall assessment is that the proposal fits both the wording and the intent of the policy.
9. For the purpose of this report, the terms full remission, partial remission, and reduction are used to describe the different ways in which the Development Contributions Policy allows the Council to remit or reduce a development contribution, either in whole or in part, in accordance with Section 3.6 of the Development Contributions Policy 2024.

DELEGATION OR AUTHORITY TO ACT | TE MANA WHAKATAU I NGĀ KAWENGA

10. The Council has delegated responsibility for, and authority to act, in certain matters to the Hearings and Regulatory Committee.
11. The Council's Terms of Reference (Delegations) at clause 2.3.2.9 provides that the Committee has responsibility for and authority to "determine matters under any other legislation where a hearing process is necessary"
12. Council has developed a Development Contributions Policy under s 102 (1) of Local Government Act 2002. This policy provides a mechanism for Council, as delegated to the Committee, to receive, hear and decide requests for remissions of Development Contributions.

RECOMMENDATION | NGĀ TAUNAKITANGA

- A. That the Committee approve a full remission of the assessed Development Contribution, being \$117,642.08 excluding GST under the Development Contributions Policy.

or

B. That the Committee approve a partial remission of the assessed Development Contribution, being \$[insert figure] excluding GST under the Development Contributions Policy.

or

C. That the Committee declines the request for remission of the assessed Development Contribution.

BACKGROUND | HE KŌRERO TŪĀPAPA

13. Building consent 100/2025/420 was received by Council on 6 October 2025. The application was for construction of 11 new affordable housing units at Cambridge Place, Levin

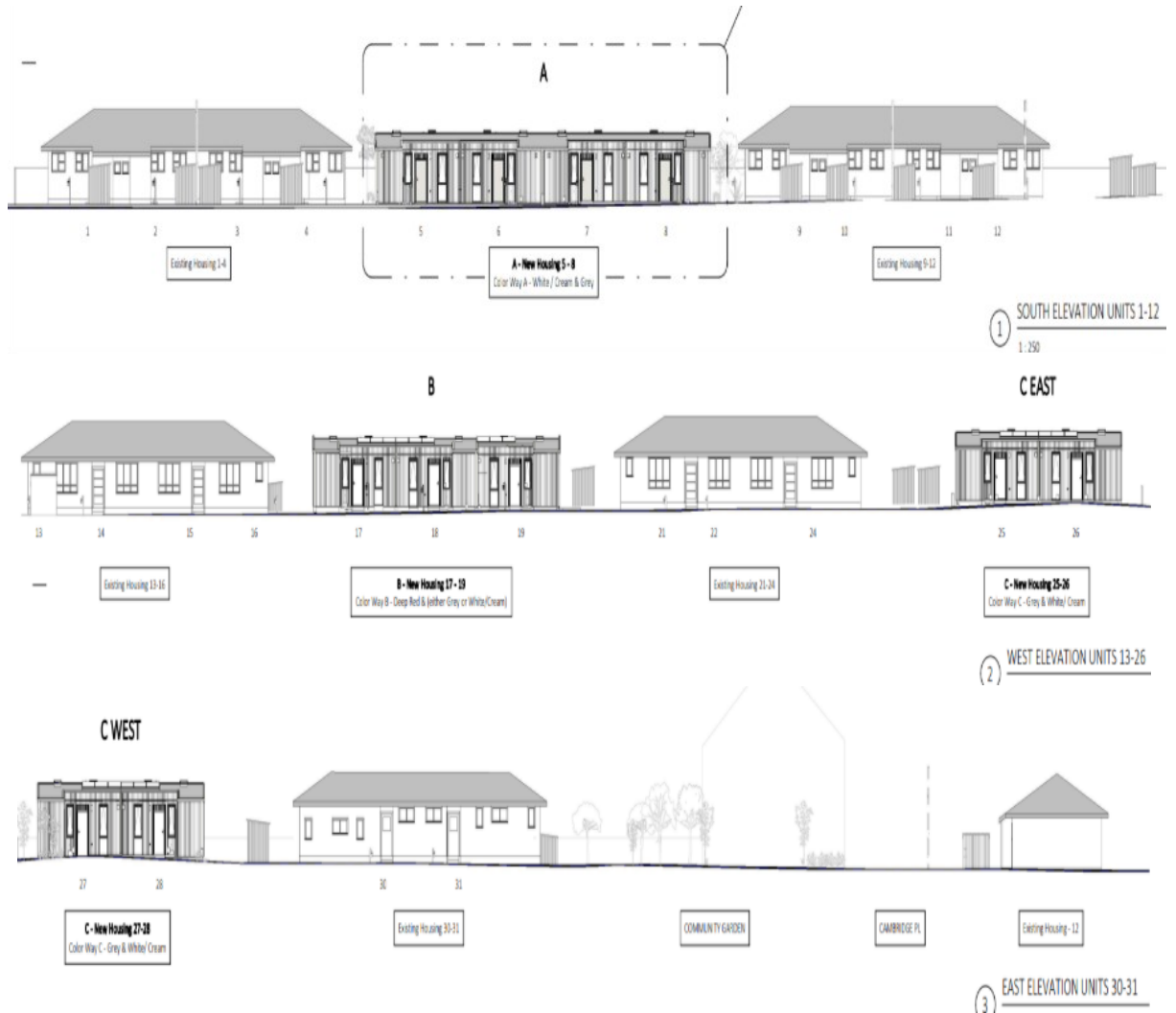


Figure 1 – Proposed Elevations

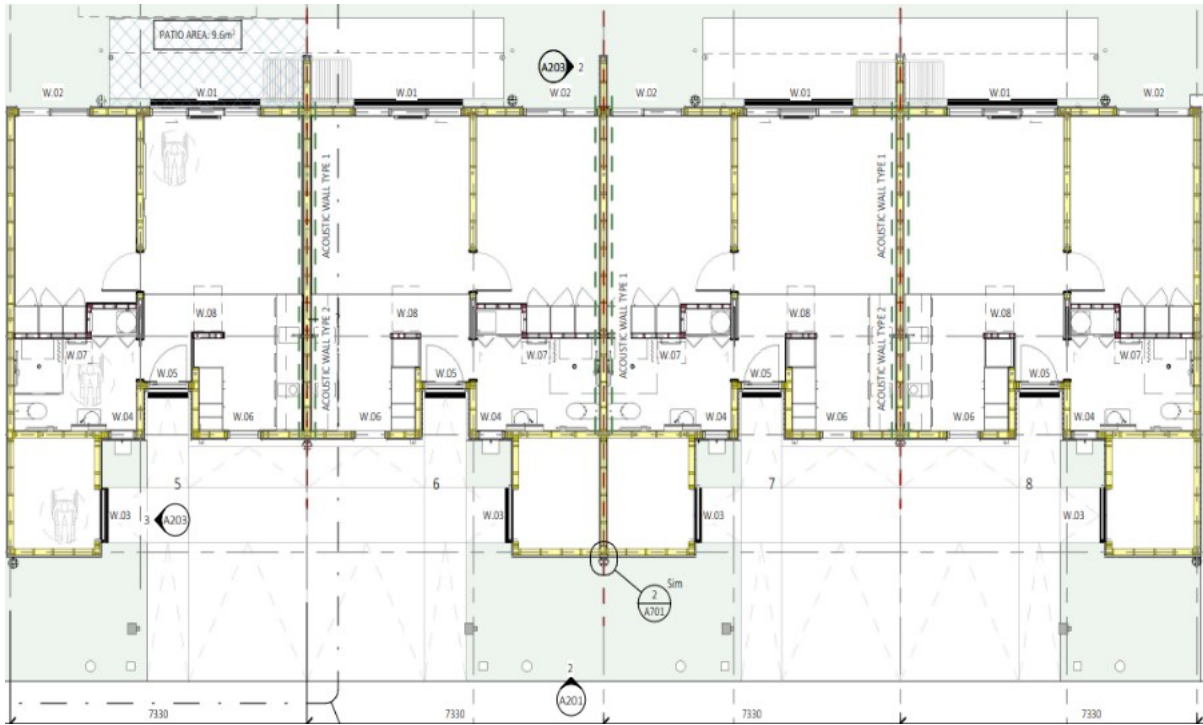


Figure 2 – Proposed Building Layout

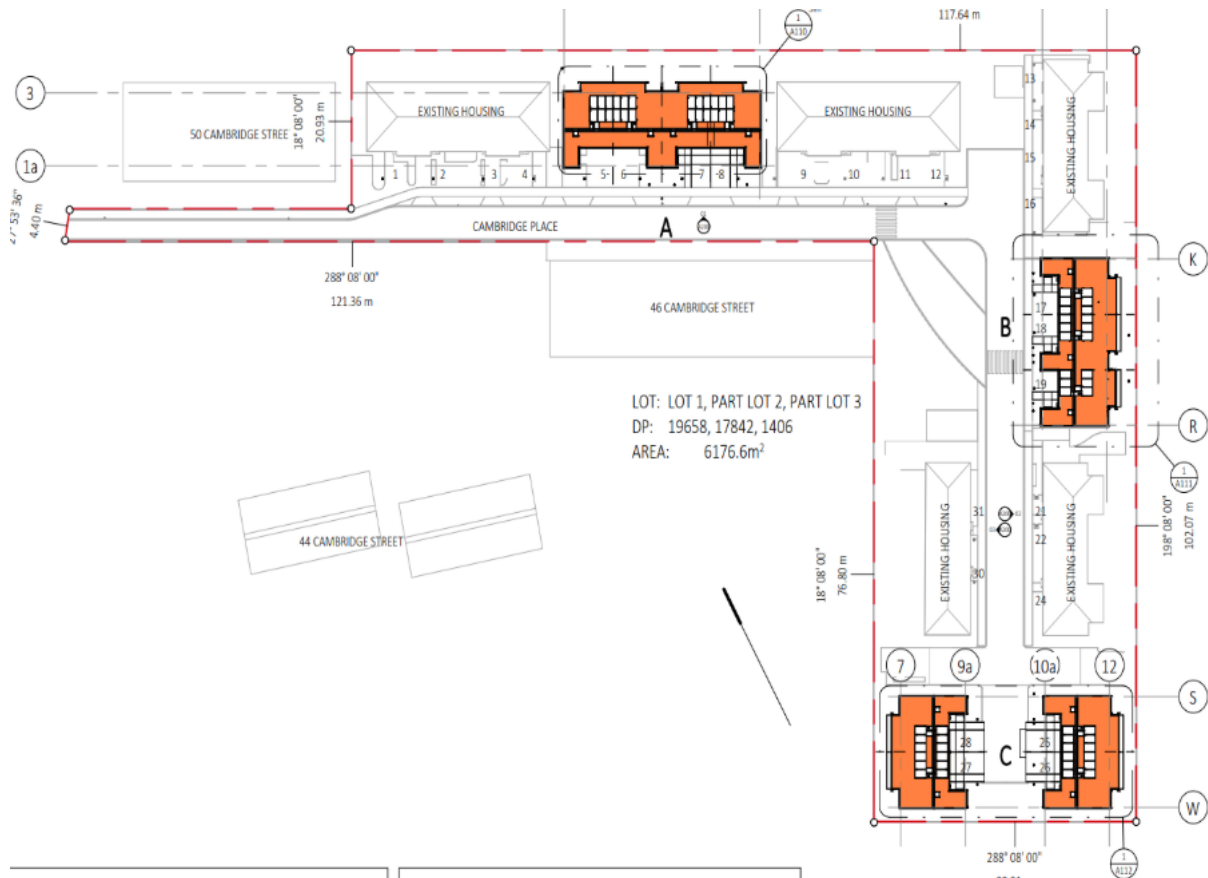


Figure 3 – Proposed Site Layout

14. A request for remission of the Development Contributions was received from David McGuinness, via email on 14 November 2025. The remission was requested

under both Sections 3.6.1.1(a) of the DC Policy, which allows for remission or reduction (full or partial) of a development contribution where it is expected to provide a significant community benefit and 3.6.1.2 (b) applicant/developer is an Incorporated Society defined under section 4(1) of the Incorporated Societies Act 1908 or a Charity defined under section 4(1) of the Charities Act 2005.

15. The request was received within the 14-day time period set out in Section 3.6.3.2 of the policy. Documents pertaining to the request for remission are attached as Appendix D.
16. Section 3.6.3.6 of the policy required any such requests to be considered by the Council Hearings Committee. There is no known conflict of interest that would require the use of an Independent Commissioner in this case

The following information was provided by way of justification for the remission:

Compassion Horowhenua Limited Partnership requests a full remission of the assessed development contributions in accordance with clause 3.6 of Council's Development Contributions Policy 2024.

We understand that a request to remit development contributions must be made within 14 working days after the date on which Council issues an assessment. While the assessment is dated 6 October 2025, it was not uploaded to Simpli until 3 November 2025 (when the building consent was issued), so this request is within the required time period.

Background

Compassion Horowhenua is a partnership between the Mother Aubert Home of Compassion Trust Board (Sisters of Compassion) and Willis Bond. Compassion Horowhenua purchased the Horowhenua District Council's social housing portfolio of 115 units in 2017. Compassion Horowhenua has continued to provide affordable housing to elderly citizens since the initial purchase. There is strong demand for the units with very high occupancy rates and a waiting list for new residents. Day-to-day management of the properties and the tenancies is handled by the operator, Compassion Housing Limited. Compassion Housing is a registered community housing provider and part of the Sisters of Compassion group. Compassion Housing also provides wraparound pastoral care and nursing services for the residents. Its mission statement is:

We respect the dignity of older persons through:

- *Respecting the dignity of older people.*
- *Offering quality housing that is comfortable and affordable.*
- *Respecting people's right to independence.*
- *Offering friendship, encouragement and helping them live active lives.*
- *Offering advocacy for access to healthcare, social and government assistance.*
- *Encouraging those with ill health to seek and obtain appropriate care.*

The long-term vision for Compassion Housing is to provide elderly housing, with a primary focus on the lower north island, which reflects the physical and spiritual region of the Sisters of Compassion group.

To qualify for affordable housing, residents must be 60 years or older, have the ability to live alone independently, have little income other than superannuation payments and have less than \$60,000 in gross assets.

Building consent 20250420 relates to the construction of 11 new affordable housing units on Compassion Horowhenua's property at Cambridge Place, Levin. These new units will help the partnership to respond to the demand for affordable housing in the Horowhenua district.

The new units will be 50% funded by the Ministry of Housing and Urban Development's Affordable Housing Fund. A condition of the funding is that the units are let at no higher than 80% of market rent for a minimum period of 15 years. This requirement aligns with Compassion Horowhenua's current policies and its purpose to provide housing at below-market rates to those in need.

The units will be constructed to a reasonable size (50 sqm for one -bed units) and have been designed specifically for elderly residents and to accommodate accessibility issues. The design has been completed by LT McGuinness and reviewed, on a pro bono basis, by Studio Pacific Architecture (who previously completed research on affordable independent-living accommodation for the elderly). The units will also include solar panels and provision for EV charging, which will provide environmental benefits as well as cost benefits to residents.

It is challenging to fund new construction in the current market, let alone affordable housing units let at a below-market rate. The business case for the project relies on the development contribution remissions offered in the Policy. We appreciate the intention behind the Policy to support social and affordable housing projects – this support is crucial to getting these sorts of developments over the line.

Basis of Request

The remission is requested under clause 3.6.1.1 a) of the Policy on the basis "it is expected to provide significant community benefit ". We believe the increased supply of affordable housing for the elderly is a significant community benefit, providing security of tenure to lower-income elderly residents and allowing them to remain in Horowhenua District.

Where a remission is requested under clause 3.6.1.1 a), clause 3.6.1.2 requires Council to be satisfied that one of the criteria in a) or b) applies.

In this case, clause 3.6.1.2 a) applies: The development is a social housing development undertaken by a Community Housing Provider that is registered with the Community Housing Regulatory Authority or any other partnership where Kainga Ora or Ministry of Housing and Urban Development has entered into an agreement to provide social housing or affordable housing; As explained above, Compassion Housing Limited Partnership is a "partnership... where Ministry of Housing and Urban Development has entered into an agreement to provide social housing or affordable housing". We can provide further evidence of the agreement on request. We also note that, when the existing units were purchased from Council, the partnership agreed to assume Council's obligations in respect of the units to Kāinga Ora (then Housing New Zealand) . This includes ensuring that rents are set at an affordable level. These obligations are secured by an encumbrance on the title to the properties and deed of indemnity given in favour of Council.

Options | Ngā Kōwhiringa

17. The Committee can consider either full or partial remission of the Development Contribution as assessed. In this case, officers recommend full remission of the assessed Development Contribution, being \$117,642.08 excluding GST under the Development Contributions Policy 2021 (2022 amendment) for the following reasons:
18. The request for remission satisfies Section 3.6.1.1, in that the proposal will provide for Compassion Horowhenua Limited Partnership activities, which are considered to have a significant community benefit.
19. Compassion Horowhenua Limited Partnership is an incorporated society, in accordance with Section 3.6.1.2, and is considered to provide for health and safety in the district community as per Section 3.6.1.2b).
20. Council has an alternate source of funding, being borrowing, as per Section 3.6.1.2.

21. In the event that the Committee disagrees with the recommendation in Paragraph 19 above, they are able to make a decision to either uphold the October 2025 assessment of Development Contributions, or to remit the Development Contribution in part.

FINANCIAL AND RESOURCING | TE TAHUA PŪTEA ME NGĀ RAUEMI

Development contribution remission request - Compassion Horowhenua Limited Partnership

22. The assessed Development Contribution (DC) of \$117,642.08 for this elderly housing project may be funded through two legitimate alternative mechanisms, both of which meet the intent of Council's DC Policy requirement to identify an alternative funding source where a remission is sought:

Loan funding (Ratepayer-funded over time)

22.1. Council may elect to fund the remission through borrowings, with repayment occurring over time through general rates. This approach avoids placing additional financial burden on the developer or the charitable trust delivering the project. While it incrementally reduces Council's borrowing headroom for future capital priorities, it is an accepted mechanism for meeting the cost of growth-related infrastructure where Council determines that wider community outcomes justify the remission.

Redistribution across the future development base (DC Re-basing)

22.2. Alternatively, Council may absorb the remission by re-allocating the unfunded growth share across the remaining development community. Under this approach, the 11 units associated with the remission are excluded from the future growth projections when DCs are next recalculated. The growth-related cost share is then redistributed across a smaller development base, resulting in higher DC charges in subsequent years.

This ensures the cost of growth remains with those generating future demand rather than transferring it to the general ratepayer.

Overall Position

23. Given the project's strong alignment with Council's community outcomes, particularly in delivering affordable homes, officers are satisfied that the request meets the intent of Policy 3.6.1.2.
24. The identification of either borrowing or DC re-basing as an alternative funding source satisfies Council's obligation to avoid unfunded growth impacts. On this basis, officers support granting the remission.

Confirmation of statutory compliance

In accordance with sections 76 – 79 of the Local Government Act 2002, this report is approved as:

- a. containing sufficient information about the options and their advantages and disadvantages, bearing in mind the significance of the decisions; and,
- b. is based on adequate knowledge about, and adequate consideration of, the views and preferences of affected and interested parties bearing in mind the significance of the decision.

ATTACHMENTS | NGĀ TĀPIRINGA KŌRERO

No.	Title	Page
A	100.2025.00000420.001 - Approved - Architectural Plans - 1-40 Cambridge Place, Levin - Compassion Horowhenua Limited Partnership - New Residential Dwelling	13
B	LUC/501/2025/18 - Approved Non-Notified Decision and Assessment Report - 1-40 Cambridge Place Levin - 21 August 2025	125
C	100/2025/420 - Development Contribution Assessment Form - 1-40 Cambridge Place Levin 5510 - Compassion Horowhenua Limited Partnership - New Residential Dwelling	165
D	Cambridge Place - Development Contributions Remission Request - 14 November 2025	166
E	Cambridge Place - Finance Review and Comment of DC Report - 23 March 2026	169

Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025



**THE ENGINEER SHALL SUPERVISE
THE SPECIFIC ENGINEERING DESIGN
SUBMIT A PS4 SITE NOTES ON
COMPLETION BEFORE ISSUANCE OF
THE CODE COMPLIANCE
CERTIFICATE**

**JOB COPY
THESE PLANS MUST BE
RETAINED ON SITE**

**ALL WORK TO FULLY COMPLY WITH
THE BUILDING CONSENT
DOCUMENTS. ANY VARIATIONS
SUBMITTED FOR CONSIDERATION AS
AN AMENDMENT BEFORE
COMMENCEMENT**

1 COVER
1 : 2000

DRAWING LIST		DRAWING LIST		DRAWING LIST		DRAWING LIST		DRAWING LIST		DRAWING LIST	
Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name
A001	CAMBRIDGE PLACE	A152	PART PLAN - KITCHEN & BATHROOM	A300	SECTION A-A'	A383	WALL FRAMING A' A'	A552	KITCHEN ELEVATIONS & SECTIONS	A711	SECTION DETAILS W.06
A006	KEYNOTES	A155	INSULATION PLAN	A301	SECTION B-B'	A384	WALL FRAMING 3' - 3'	A560	WARDROBE/BATHROOM JOINERY	A712	SECTION DETAILS W.05
A007	TECHNICAL NOTES	A200	GA ELEVATIONS CONTEXT	A302	SECTION C-C'	A385	WALL FRAMING C' C'	A570	WARDROBE	A713	SECTION ENTRY ALCOVE
A080	LOCATION PLAN	A201	GA ELEVATION NORTH & SOUTH	A303	SECTION BLOCKS B & C	A386	WALL FRAMING 1' 1'	A699	DETAIL PLAN	A714	SECTION DETAILS ROOF PENETRATIONS
A084	LEGAL SITE PLAN	A202	GA ELEVATION EAST & WEST	A305	SERVICES PLAN BLOCK A	A387	WALL FRAMING B' B'	A700	PLAN DETAILS W.01 & W.02	A715	SECTION DETAIL W.07 & W.08 1
A090	SITE SETOUT PLAN	A203	GA ELEVATIONS UNIQUE	A306	SERVICES PLAN BLOCK B	A388	WALL FRAMING 2' 2'	A701	PLAN DETAILS WING WALL	A716	SECTION DETAIL W.07 & W.08 2
A100	GROUND FLOOR PLAN A	A250	LIVING ROOM ELEVATIONS	A307	SERVICES PLAN BLOCK C	A389	ROOF FRAMING SECTIONS	A702	PLAN DETAILS W.05 & W.06	A717	SECTION DETAILS W.04 & GULLY
A101	GROUND FLOOR PLAN B	A251	BEDROOM ELEVATIONS	A308	UNIT SERVICES PLAN	A401	WALL BUILD UPS 140	A703	PLAN DETAILS W.04	A718	SECTION DETAILS W.03
A102	GROUND FLOOR PLAN C	A252	BATHROOM ELEVATIONS	A310	SLAB PLAN A	A402	WALL BUILD UPS 90	A704	PLAN DETAILS W.03	A719	SECTION DETAIL POST
A110	ROOF PLAN A	A253	BATHROOM ELEVATION & SECTION	A311	SLAB PLAN B	A405	TENANCY WALL BUILD UPS	A710	SECTION DETAILS W.01 & W.02	A720	SECTION DETAIL VINYL FLOOR
A111	ROOF PLAN B			A312	SLAB PLAN C	A450	WINDOW SCHEDULE			A800	LANDSCAPE
A112	ROOF PLAN C			A380	WALL FRAMING PLAN	A451	DOOR SCHEDULE				
A120	DETAIL PLAN - WB			A381	ROOF FRAMING PLAN	A550	KITCHEN JOINERY				
A121	RCP			A382	WALL FRAMING 1a' 1a'						

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
- ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
 - DO NOT SCALE FROM DRAWINGS. DIMENSIONS GOVERN.
 - ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
 - ALTERATIONS TO THE DRAWINGS MUST BE NOTIFIED TO THE ARCHITECT IN WRITING.

CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

CAMBRIDGE PLACE

scale on A3: 1 : 2000

A4: 71% scale reduction

CAMBRIDGE PLACE

Wellington

SF

© LT McGuinness Limited
9 Francis Place Te Aro Wellington 6011
PO Box 9639 Marion Square 6141
+4 384 8455

03.10.2025

1

A001

Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

<p>AR timber architrave 40x19 timber clears paint finish</p> <p>AW air seal refer specification 4811 SEALANTS</p> <p>AW aluminium window refer specification 4521PT ALTUS</p> <p>BB barge board refer specification 3821 TIMBER</p> <p>BW building wrap MARSHALL INNOVATIONS TEKTON refer specification 4161 UNDERLAYS</p> <p>CB cavity batten 20mm refer specification 4223SC SHADOWCLAD</p> <p>CC cavity closer refer specification 4223SC SHADOWCLAD</p> <p>CT carpet refer specification 6512 MILLIKEN</p> <p>DP down pipe refer specification 7411 MARLEY</p> <p>DPC damp proof course refer specification 4161 UNDERLAYS</p> <p>DPM damp proof membrane refer specification 4161 UNDERLAYS and CONCRETE SLAB DOCUMENTATION</p>	<p>FL-J aluminium flashing - SHIPLAP refer specification 4221JW JSC</p> <p>FL-R aluminium flashing - ROOF refer specification 4311D DIMOND</p> <p>FL-S aluminium flashing - WALL refer specification 4223SC SHADOWCLAD</p> <p>GU gutter refer specification 7411MA MARLEY</p> <p>HB handibrac refer specification 4171SB SAVEBOARD</p> <p>HF head flashing refer specification 4521PT ALTUS</p> <p>IGU double glazing refer specification 4610 GLAZING</p> <p>IN1 insulation slab REFER CONCRETE SLAB DOCUMENTATION</p> <p>IN2 insulation slab 25mm XPS SLAB PERIMETER INSULATION</p> <p>IN3 insulation wall refer specification 4711AG AUTEX</p> <p>IN4 insulation ceiling refer specification 4711AG AUTEX</p>	<p>J1 joinery 1 bathroom refer specification 5511 JOINERY</p> <p>J2 joinery 2 wardrobe refer specification 5511 JOINERY</p> <p>J3 joinery 3 pantry refer specification 5511 JOINERY</p> <p>J4 joinery 4 kitchen refer specification 5511 JOINERY</p> <p>PB-G GIB plasterboard refer specification 5113G GIB</p> <p>PB-P PROROC plasterboard refer specification 5113NP NZL PROROC</p> <p>PMR profiled metal roofing refer specification 4311D DIMOND</p> <p>PV solar panel refer specification 7717 PHOTOVOLTAIC</p> <p>PW 7mm Ecoply Barrier refer specification 3827E ECOPLY</p> <p>RAB 10mm saveBOARD betterBRACE refer specification 4171SB SAVEBOARD</p> <p>RU roofing underlay refer specification 4161 UNDERLAYS</p> <p>SB stainless splashback refer specification 5511 JOINERY</p> <p>SC shadowclad refer specification 4223sc SHADOWCLAD</p>	<p>SK skirting 100x19 timber clears paint finish</p> <p>SO soffit refer specification 4238JH SOFFITS</p> <p>ST seratone refer specification 5133S SERATONE</p> <p>TA flashing tape refer specification 4161 UNDERLAYS</p> <p>TA2 flashing tape windows refer specification 4161 UNDERLAYS</p> <p>TF timber framing refer specification 3821 TIMBER</p> <p>TFB timber blocking refer specification 3821 TIMBER</p> <p>TR timber reveal refer specification 4521 ALTUS</p> <p>VF vinyl flooring refer specification 6411J JACOBSEN</p> <p>VP verandah post refer specification 3821 TIMBER</p> <p>VS velux skylight refer specification 4554VS VELUX</p> <p>WS weather seal refer specification 4161 UNDERLAYS</p>
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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
1. ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
 2. DO NOT SCALE FROM DRAWINGS. DIMENSIONS GOVERN.
 3. ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
 5. ALTERATIONS TO THE DRAWINGS MUST BE NOTIFIED TO THE ARCHITECT IN WRITING.

KEYNOTES

scale on A3: 1 : 50		A4: 71% scale reduction
Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

CAMBRIDGE PLACE
Wellington

SF

© LT McGuinness Limited
9 Francis Place Te Aro Wellington 6011
PO Box 9639 Marion Square 6141
+4 384 8455

03.10.2025

1
A006

Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

GENERAL NOTES

ALL WORK SHALL COMPLY WITH RELEVANT LOCAL AUTHORITY AND NEW ZEALAND BUILDING CODE REQUIREMENTS.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FULL SET OF CONTRACT DOCUMENTS INCLUDING THE SPECIFICATION, APPROVED BUILDING CONSENT DOCUMENTATION, AND CONSULTANTS DOCUMENTS.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS.

ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS TO BE REFERRED TO THE ARCHITECT FOR CLARIFICATION.

ALL FRAMING SIZES AND DIMENSIONS NOMINAL.

PROVIDE DPC BETWEEN TIMBER AND CONCRETE WHETHER DETAILED OR NOT.

THE CONTRACTOR IS RESPONSIBLE FOR:

- TO VERIFY AND MARK THE POSITION OF ALL IN-GROUND SERVICES ON SITE PRIOR TO BEGINNING CONSTRUCTION - CONSULTANTS DRAWINGS MAY BE APPROXIMATE ONLY.
- BRINGING ANY INCONSISTENCY, ERROR, DISCREPANCY, OR CONFLICT WITH THE MANUFACTURERS DETAILS TO THE ARCHITECTS ATTENTION IMMEDIATELY. ALL INFORMATION HAS EQUAL PRECEDENCE. IF IN DOUBT, ASK.
- MAINTAINING INSURANCE COVER FOR THE CONTRACT WORKS FOR THE DURATION OF THE CONTRACT
- SITE OPERATION. ALL PERSONS ON SITE TO BE MADE AWARE OF AND COMPLY WITH THE SITE HEALTH AND SAFETY POLICY.
- VERIFYING ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. DO NOT SCALE OFF DRAWINGS FOR CONSTRUCTION.
- MAINTAINING THE STABILITY AND INTEGRITY OF THE STRUCTURE UNTIL PROJECT COMPLETION.

COMPLIANCE NOTES

B STABILITY
B1 STRUCTURE.
TO NZS3604 FOR TIMBER. REFER ENGINEERING FOR SLAB
B2 DURABILITY.
SATISFIED BY B2/AS1

C PROTECTION FROM FIRE
REFER FIRE REPORT

D ACCESS
SATISFIED BY D1/AS1

E MOISTURE
E1 SURFACE WATER.
SATISFIED BY E1/AS1
E2 EXTERNAL MOISTURE.
SATISFIED BY E2/AS1
E3 INTERNAL MOISTURE.
SATISFIED BY E3/AS1.

F SAFETY OF USERS
F1 HAZARDOUS MATERIALS ON SITE. N/A
F2 HAZARDOUS BUILDING MATERIALS.
SATISFIED F2/AS1. NEW GLAZING TO NZS4332 : PART 3
F3 HAZARDOUS SUBSTANCES & PROCESS. N/A
F4 SAFETY FROM FALLING. N/A
F5 CONSTRUCTION AND DEMOLITION HAZARDS.
SATISFIED BY F5/AS1
F6 LIGHTING FOR EMERGENCY. N/A
F7 WARNING SYSTEMS. N/A
F8 SIGNS. N/A

G SERVICES AND FACILITIES
G1 PERSONAL HYGIENE.
SATISFIED BY G1/AS1
G2 LAUNDERING. N/A
G3 FOOD PREPARATION & CONTAMINATION N/A
G4 VENTILATION.
SATISFIED G4/AS1
G5 INTERIOR ENVIRONMENT.
SATISFIED BY G5/AS1
G6 AIRBORNE IMPACT & SOUND.
SATISFIED BY G6/AS1
G7 NATURAL LIGHT.
SATISFIED BY G7/AS1 WINDOW SIZE AND POSITIONING.
AWARENESS OF THE OUTSIDE ENVIRONMENT
G8 ARTIFICIAL LIGHT.
REFER ELECTRICAL SERVICES
G9 ELECTRICITY.
REFER CIVIL DOCUMENTATION
G10 PIPED SERVICES. N/A
G11 GAS AS AN ENERGY SOURCE. N/A
G12 WATER SUPPLIES.
SATISFIED BY G12/AS1, REFER CIVIL DOCUMENTATION
G13 FOUL WATER.
SATISFIED BY G13/AS1, REFER CIVIL DOCUMENTATION
G14 INDUSTRIAL LIQUID WASTE. N/A
G15 SOLID INDUSTRIAL WASTE. N/A

H1 ENERGY EFFICIENCY.
SATISFIED BY H1/AS1, REFER H1 REPORT

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
1. ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
 2. DO NOT SCALE FROM DRAWINGS. DIMENSIONS GOVERN.
 3. ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
 5. ALTERATIONS TO THE DRAWINGS MUST BE NOTIFIED TO THE ARCHITECT IN WRITING.

CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

if in doubt, ask

Rev	Description
1	BUILDING CONSENT

TECHNICAL NOTES

scale on A3: 1 : 50

A4: 71% scale reduction
Date
03.10.2025

CAMBRIDGE PLACE
Wellington

SF

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1
A007

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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

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BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

if in doubt, ask north

LOCATION PLAN

scale on A3: 1 : 1000

A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

CAMBRIDGE PLACE

Wellington

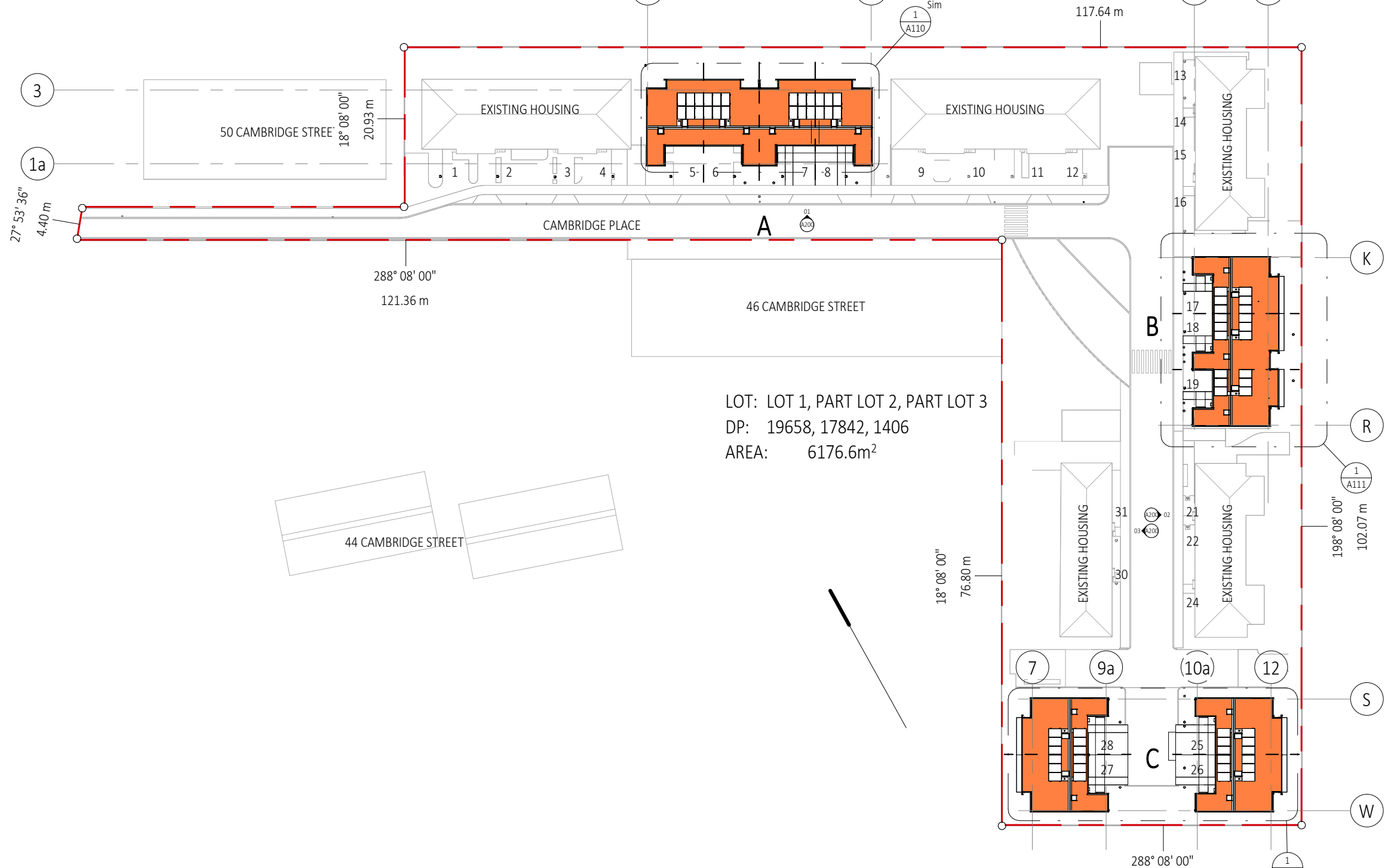
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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

LEGAL SITE PLAN
scale on A3: 1 : 500

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

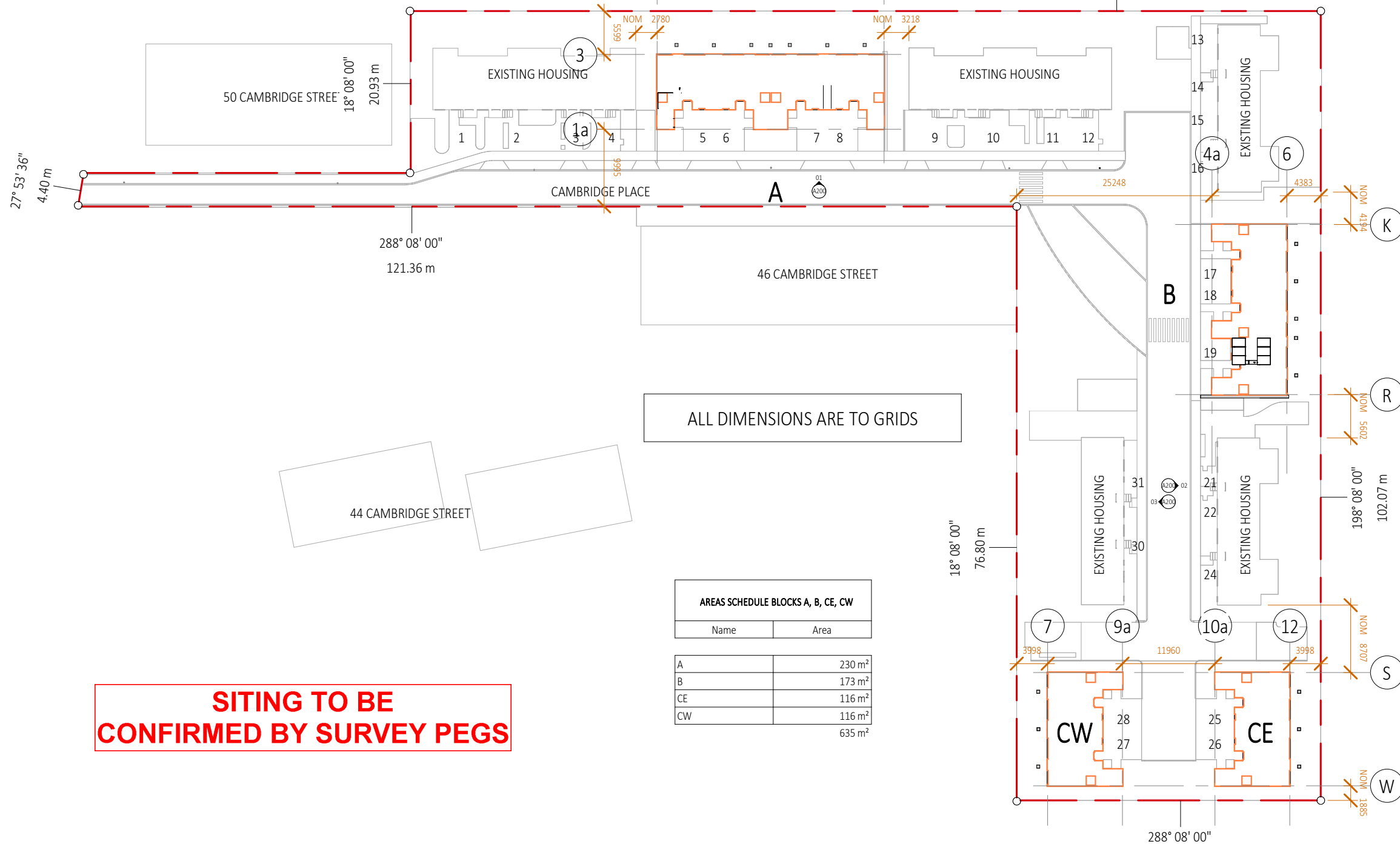
A4: 71% scale reduction

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1
A084

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ALL DIMENSIONS ARE TO GRIDS

AREAS SCHEDULE BLOCKS A, B, CE, CW	
Name	Area
A	230 m ²
B	173 m ²
CE	116 m ²
CW	116 m ²
	635 m ²

SITING TO BE
CONFIRMED BY SURVEY PEGS

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SITE SETOUT PLAN

scale on A3: 1 : 500

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask

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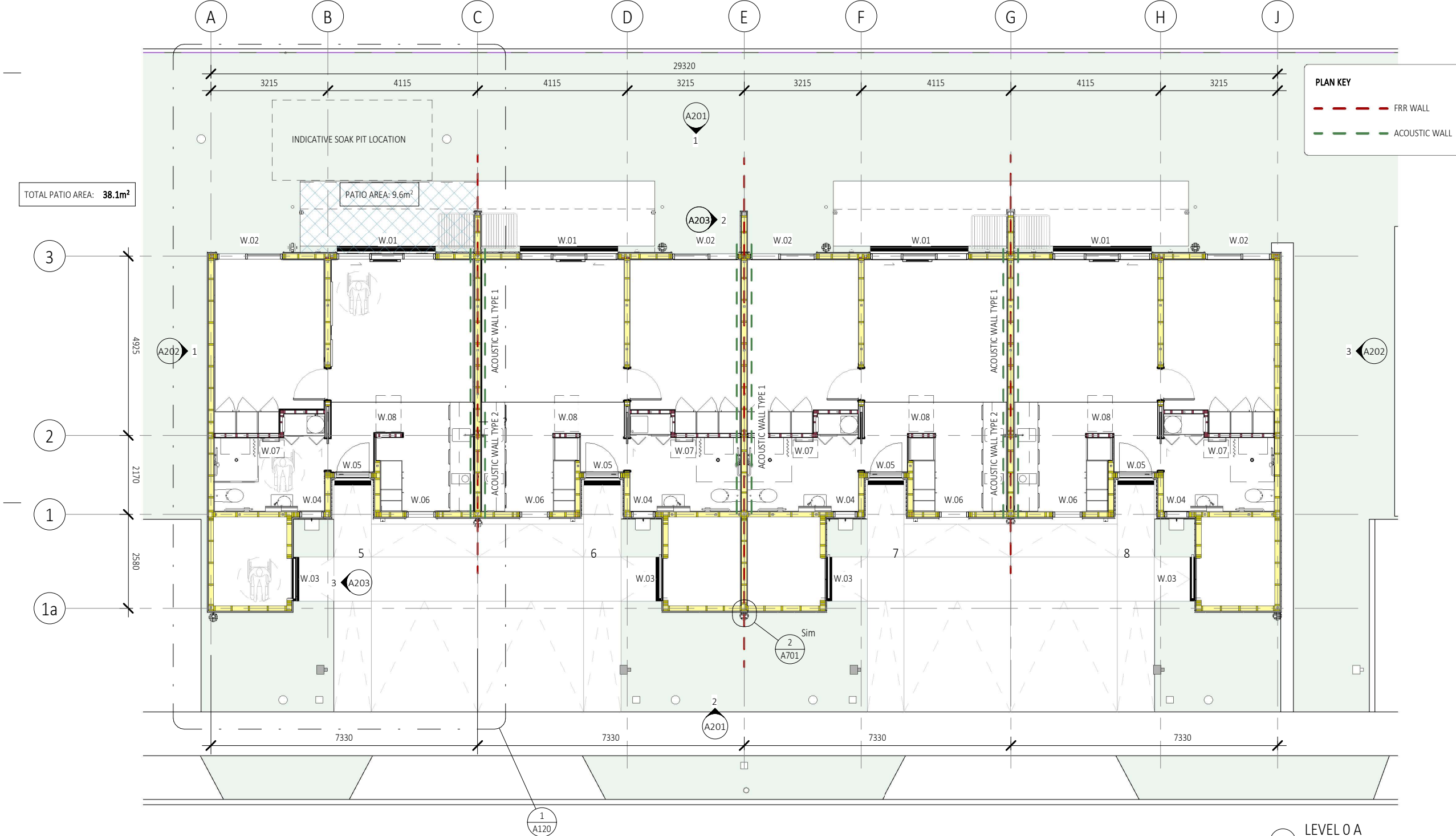
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A090

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TOTAL PATIO AREA: 38.1m²

PATIO AREA: 9.6m²

PLAN KEY

- FRR WALL
- ACOUSTIC WALL

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

1 LEVEL 0 A
1:100
BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

GROUND FLOOR PLAN A

scale on A3: As indicated A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask

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Wellington

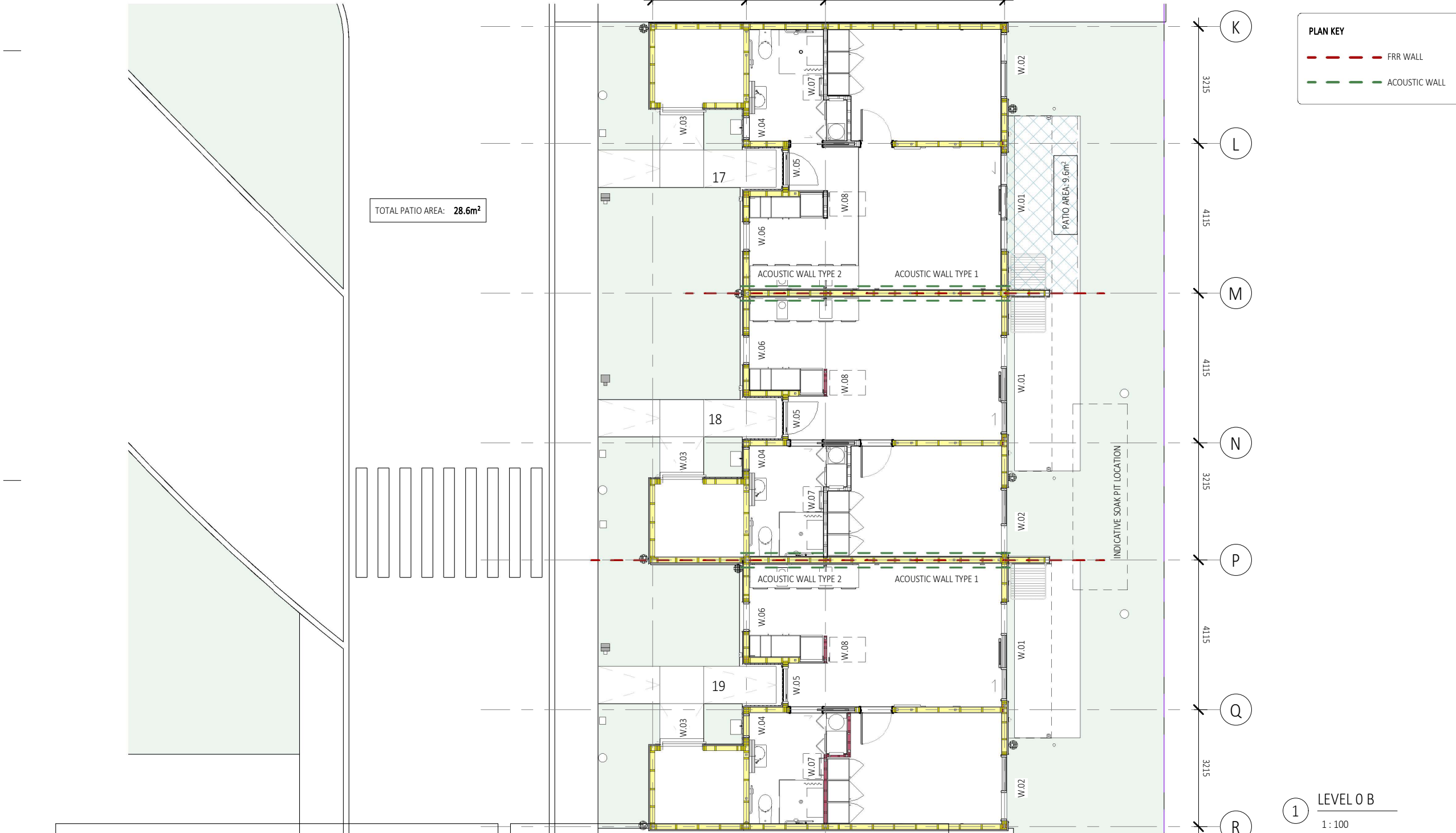
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1
A100

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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

if in doubt, ask

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

GROUND FLOOR PLAN B

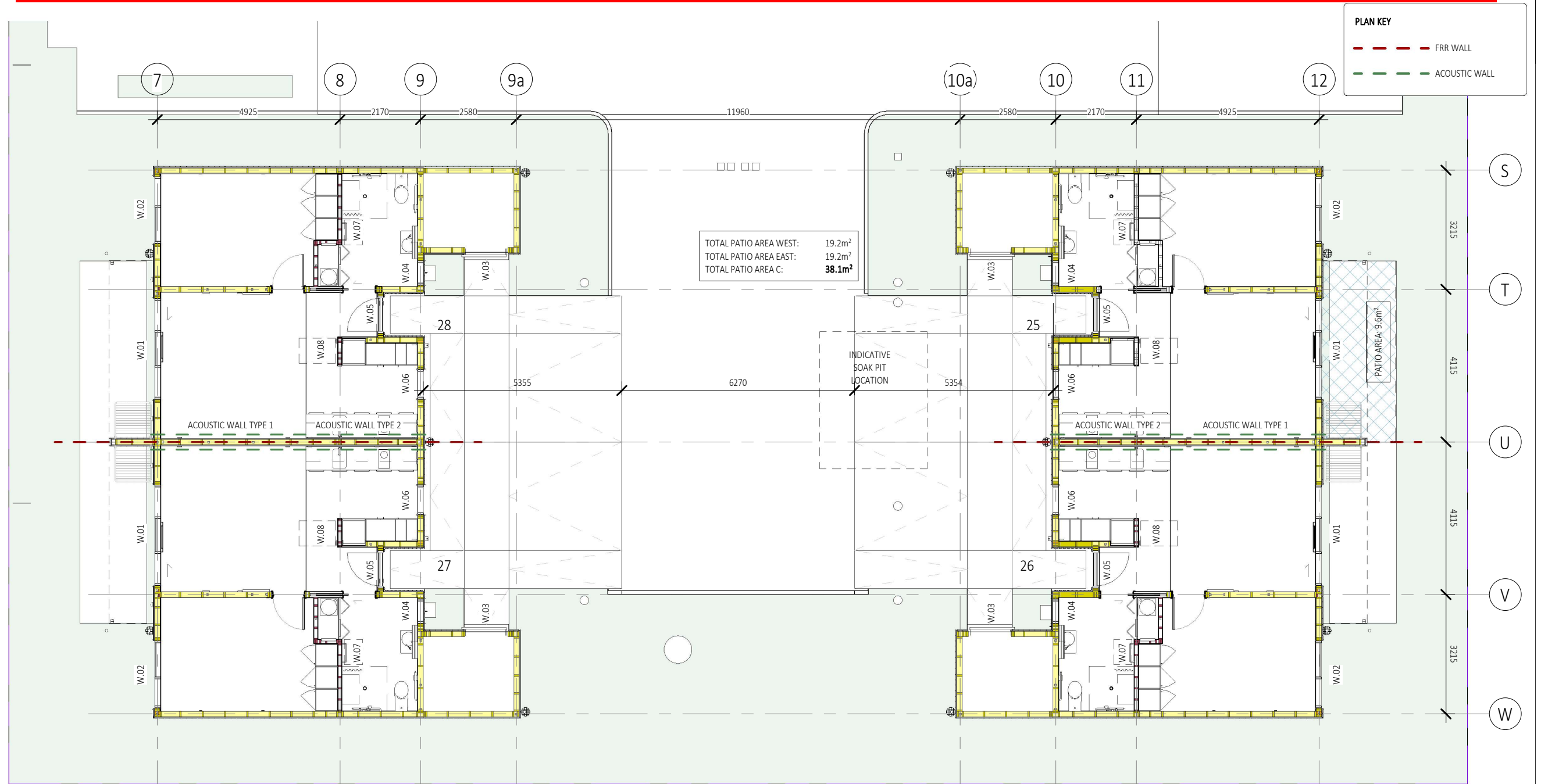
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1
A101

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TOTAL PATIO AREA WEST: 19.2m²
TOTAL PATIO AREA EAST: 19.2m²
TOTAL PATIO AREA C: 38.1m²

PLAN KEY

- FRR WALL
- ACOUSTIC WALL

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025

1 LEVEL 0 C
1:100



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

if in doubt, ask

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

GROUND FLOOR PLAN C

scale on A3: As indicated A4: 71% scale reduction

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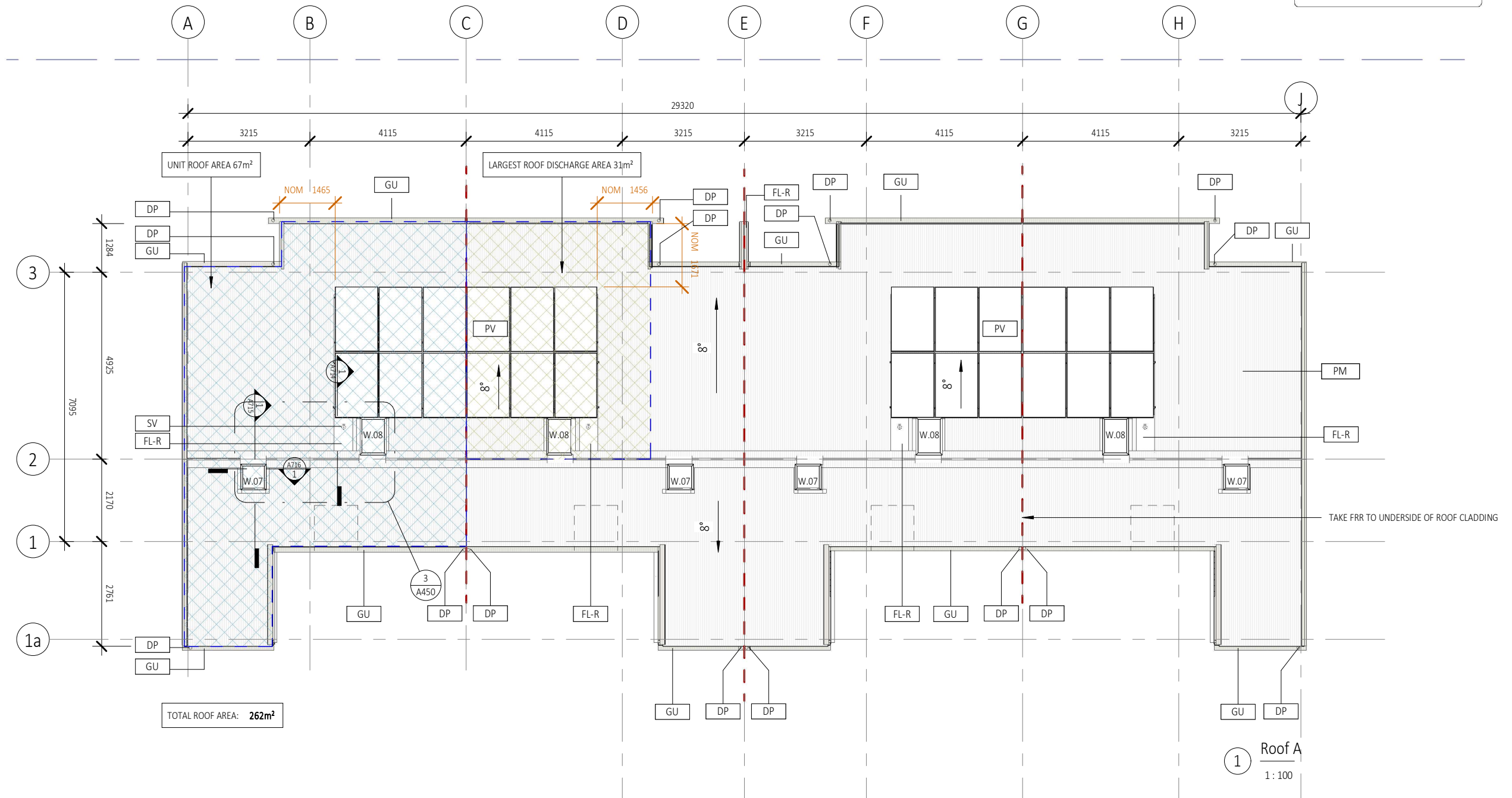
1

A102

Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

PLAN KEY

- FRR WALL
- ACOUSTIC WALL



REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

ROOF PLAN A		A4: 71% scale reduction	
scale on A3: As indicated		Rev	Date
1	BUILDING CONSENT	03.10.2025	

CAMBRIDGE PLACE SF
Wellington

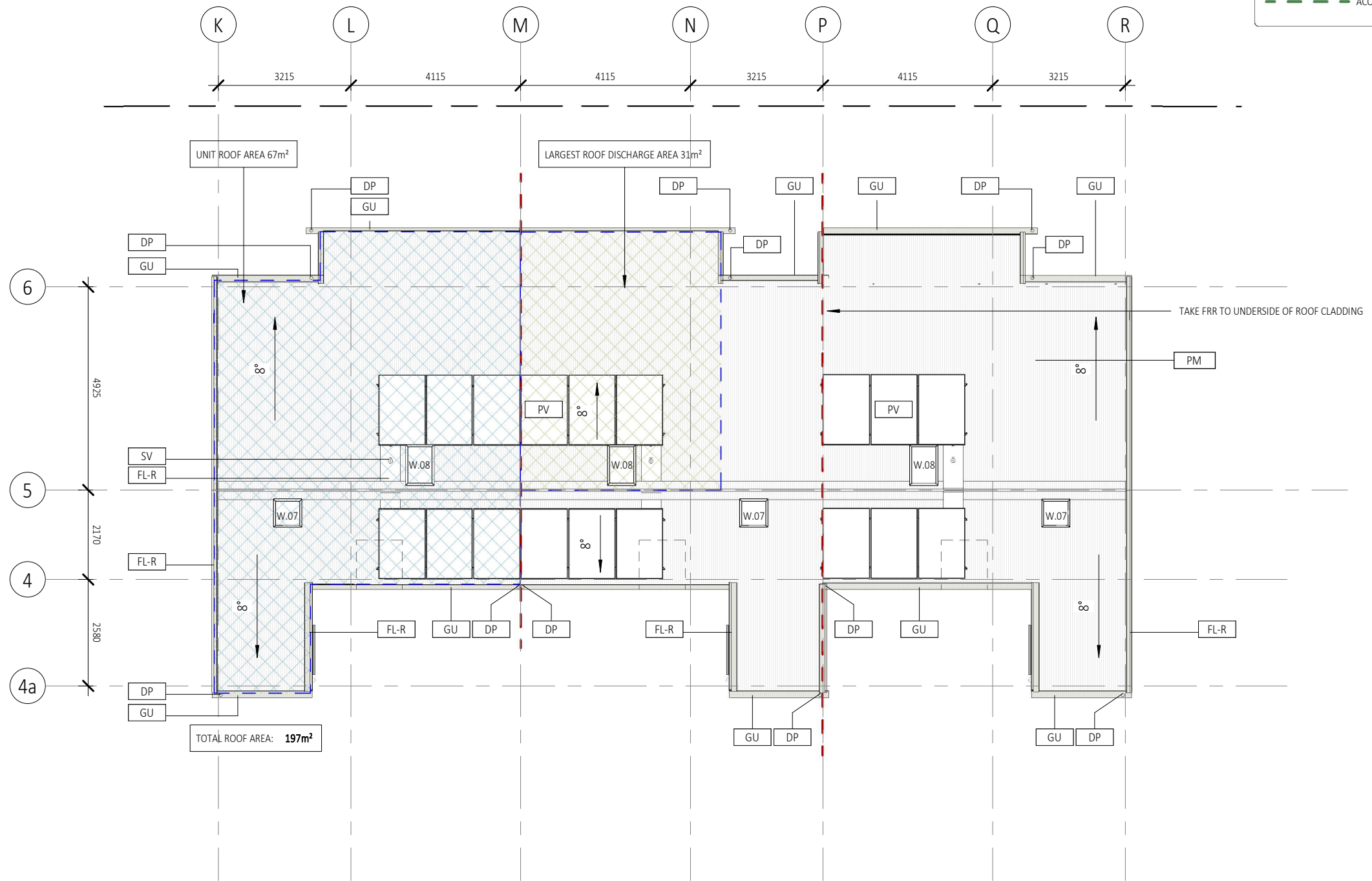
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03.10.2025
1
A110

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PLAN KEY

- - - FRR WALL
- - - ACOUSTIC WALL



REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

ROOF PLAN B
scale on A3: As indicated
Rev Description Date
1 BUILDING CONSENT 03.10.2025
if in doubt, ask

A4: 71% scale reduction

CAMBRIDGE PLACE
Wellington

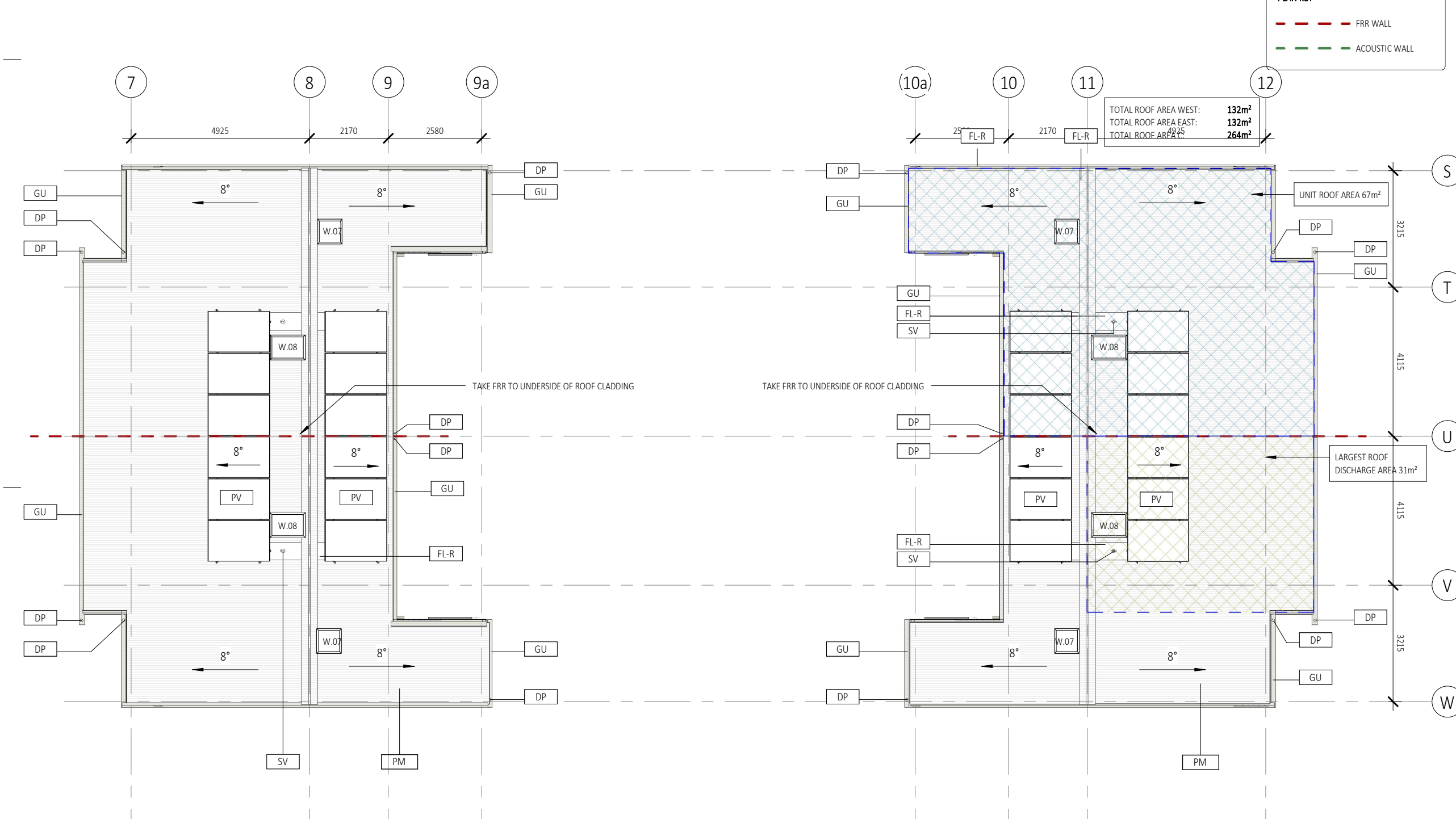
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1
A111

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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

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BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

ROOF PLAN C
scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

A4: 71% scale reduction

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Wellington

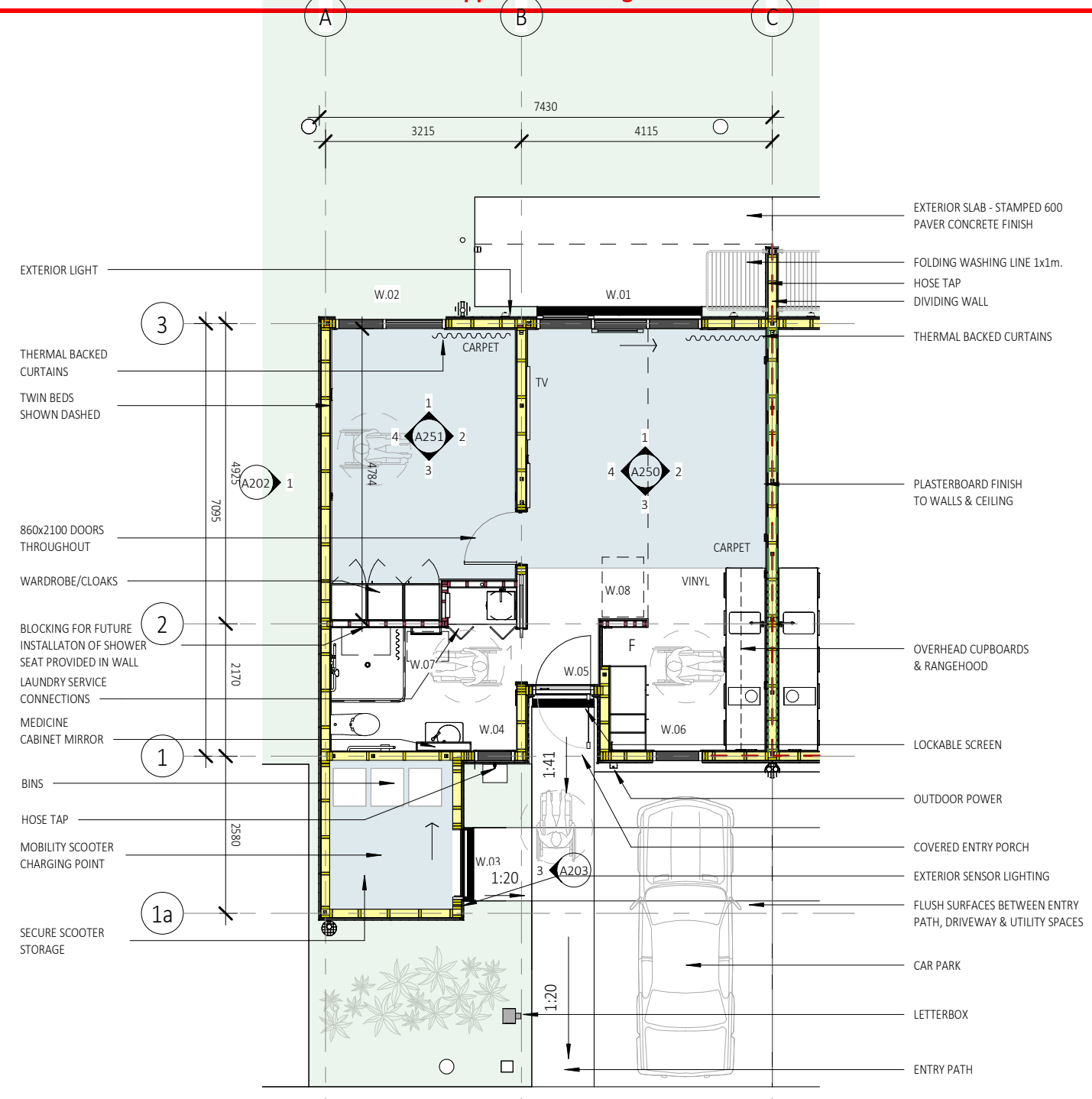
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03.10.2025
1
A112

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DETAIL PLAN KEY

- - - - - FRR WALL
- - - - - ACOUSTIC WALL TYPE 1 (SEE A405)
- ACOUSTIC WALL TYPE 2 (SEE A405)



G12/AS1 - SEISMIC RESTRAINT OF HWC

TO BE RESTRAINED WITH 25mm x 1mm GALVANISED STEEL STRAPS TENSIONED WHEN FIXED IN PLACE. STRAPS TO BE WITHIN 100mm MAX OF TOP AND BOTTOM OF CYLINDER AS PER FIGURE 14 G12/AS1. STRAPS TO BE FIXED AT EACH END WITH 1x 8mm COACH SCREW WITH EITHER: 1' 30mm x 2.0mm WASHER, OR 2' 20mm x 2.5mm. COACH SCREWS TO PENETRATE TIMBER FRAMING MIN 50mm.

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND



- NOTES:**
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

DETAIL PLAN - WB

scale on A3: As indicated

if in doubt, ask

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025
2	RFI 1	16.10.2025

A4: 71% scale reduction

CAMBRIDGE PLACE SF

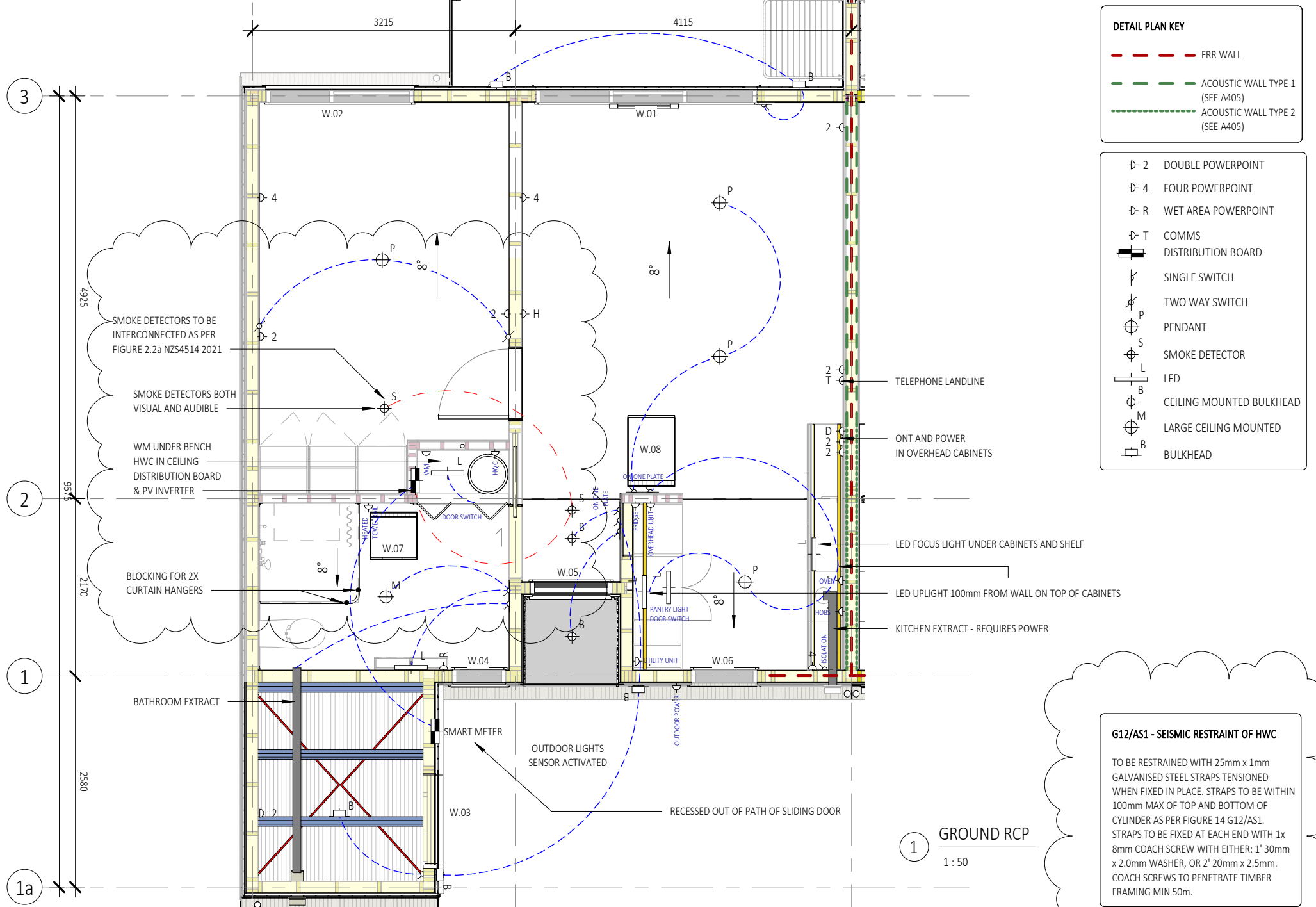
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16.10.2025

A120

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DETAIL PLAN KEY

- FRR WALL
- ACOUSTIC WALL TYPE 1 (SEE A405)
- - - ACOUSTIC WALL TYPE 2 (SEE A405)

- \oslash 2 DOUBLE POWERPOINT
- \oslash 4 FOUR POWERPOINT
- \oslash R WET AREA POWERPOINT
- \oslash T COMMS
- \blacksquare DISTRIBUTION BOARD
- \swarrow SINGLE SWITCH
- \swarrow TWO WAY SWITCH
- \oplus PENDANT
- \oplus S SMOKE DETECTOR
- \oplus L LED
- \oplus B CEILING MOUNTED BULKHEAD
- \oplus M LARGE CEILING MOUNTED
- \oplus B BULKHEAD

G12/AS1 - SEISMIC RESTRAINT OF HWC

TO BE RESTRAINED WITH 25mm x 1mm GALVANISED STEEL STRAPS TENSIONED WHEN FIXED IN PLACE. STRAPS TO BE WITHIN 100mm MAX OF TOP AND BOTTOM OF CYLINDER AS PER FIGURE 14 G12/AS1. STRAPS TO BE FIXED AT EACH END WITH 1x 8mm COACH SCREW WITH EITHER: 1' 30mm x 2.0mm WASHER, OR 2' 20mm x 2.5mm. COACH SCREWS TO PENETRATE TIMBER FRAMING MIN 50mm.

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

1 GROUND RCP
1:50

RFI 1 16.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

RCP
scale on A3: As indicated

Rev	Description
1	BUILDING CONSENT
2	RFI 1

if in doubt, ask

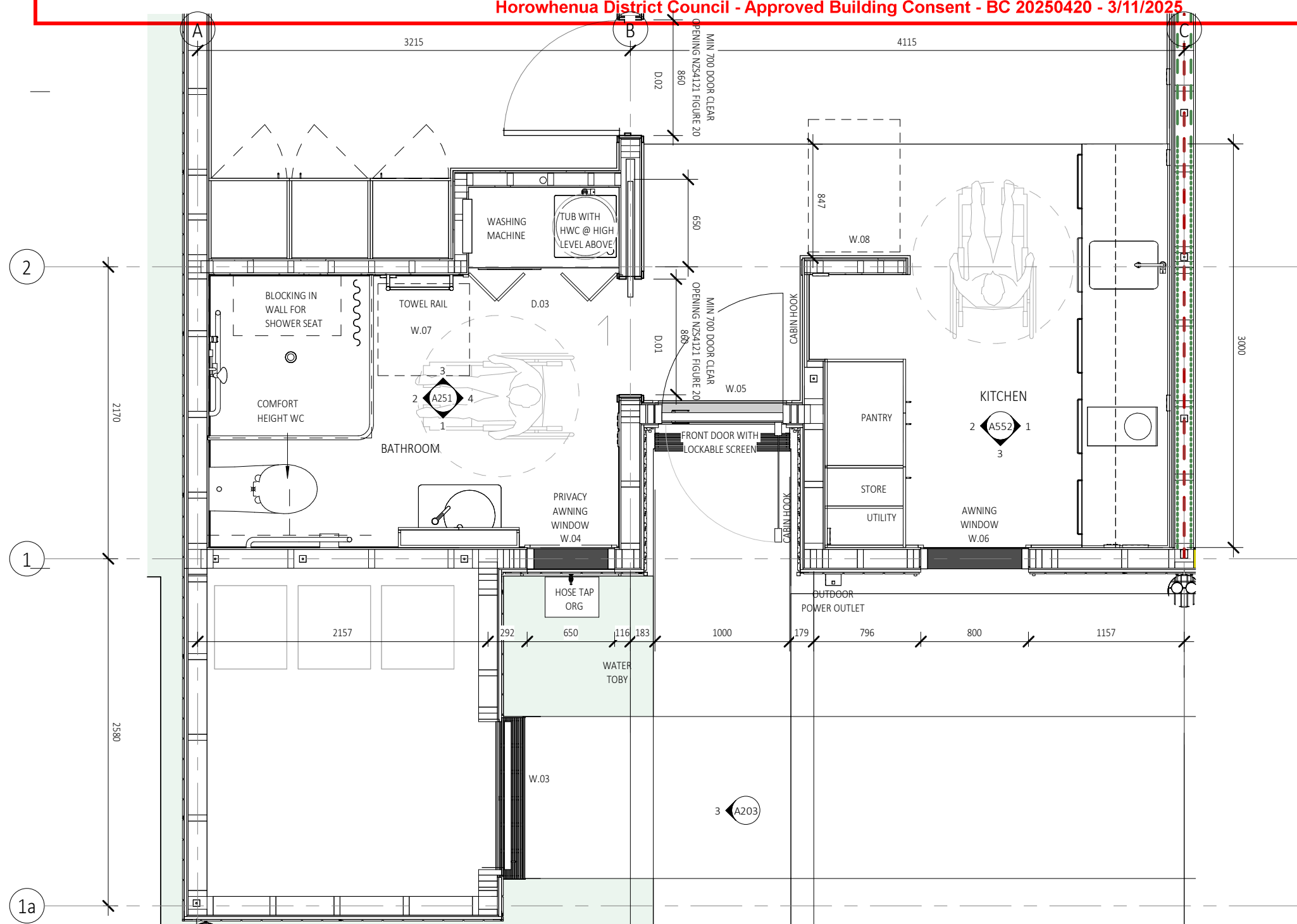
A4: 71% scale reduction
03.10.2025
16.10.2025

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SF
16.10.2025
2
A121

Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

DETAIL PLAN KEY	
	FRR WALL
	ACOUSTIC WALL TYPE 1 (SEE A405)
	ACOUSTIC WALL TYPE 2 (SEE A405)



REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

1 LEVEL 0 - Kitchen & Bathroom
1:30

BUILDING CONSENT 03.10.2025



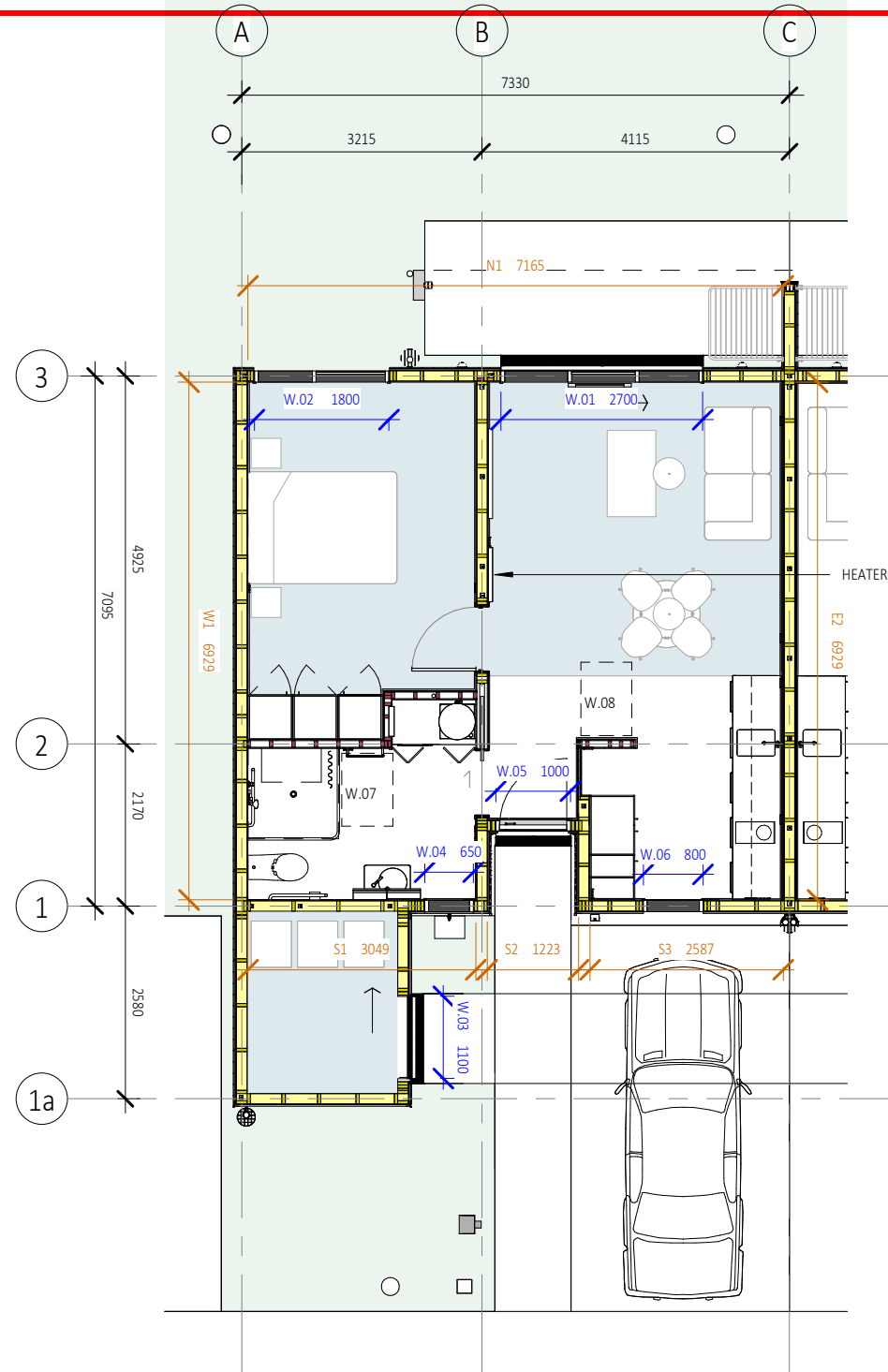
- NOTES:
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

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03.10.2025
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A152

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Tenancy Services

Heating report

Report Details

- This report was generated by LT McGuinness
- Address of rental property
Cambridge Pl, Horowhenua
- Name of landlord
Compassion Housing
- Report was generated on
23 September 2025 12:21pm

Landlords should keep this report as a record of compliance. This will help prove a rental home meets the heating requirements of the healthy homes standards.

How to provide this heating requirement You need 1.9kW of heating capacity to heat your living room

This is the minimum required heating capacity you need to provide in the main living room to meet the healthy homes standards, based on the information you supplied. It takes into account your local climate and the design and construction of your home. The tool makes some assumptions to keep things simple.

Your heating needs to provide this heating capacity with an outdoor temperature of -3°C

Heat pump installers need to know the outdoor temperature to work to. This is because the heating capacity of a heat pump reduces with colder outdoor temperatures. If you live somewhere cold, you may need a particular model of heat pump to give enough heating capacity.

In order to comply with the Calculation Method the building must have a smaller heat loss than the reference building and all of the construction R-values must be larger than 50% of the Schedule R-value targets.

Heat Loss:

Maximum permitted Heat Loss	Proposed Building Heat Loss
126 W/°C	99 W/°C ✓

The window and door area in the reference building is 30% of the proposed building's gross wall area (24.9m²).

Calculation Method **complies**

R-values (50% rule):

Element Type	Minimum permitted R-value	Minimum proposed R-value
Roof	3.3	4.4 ✓
Wall	1.0	3.0 ✓
Slab Floor	0.8	2.0 ✓
other Floor	1.3	✓

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

INSULATION PLAN

scale on A3: 1 : 80

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask



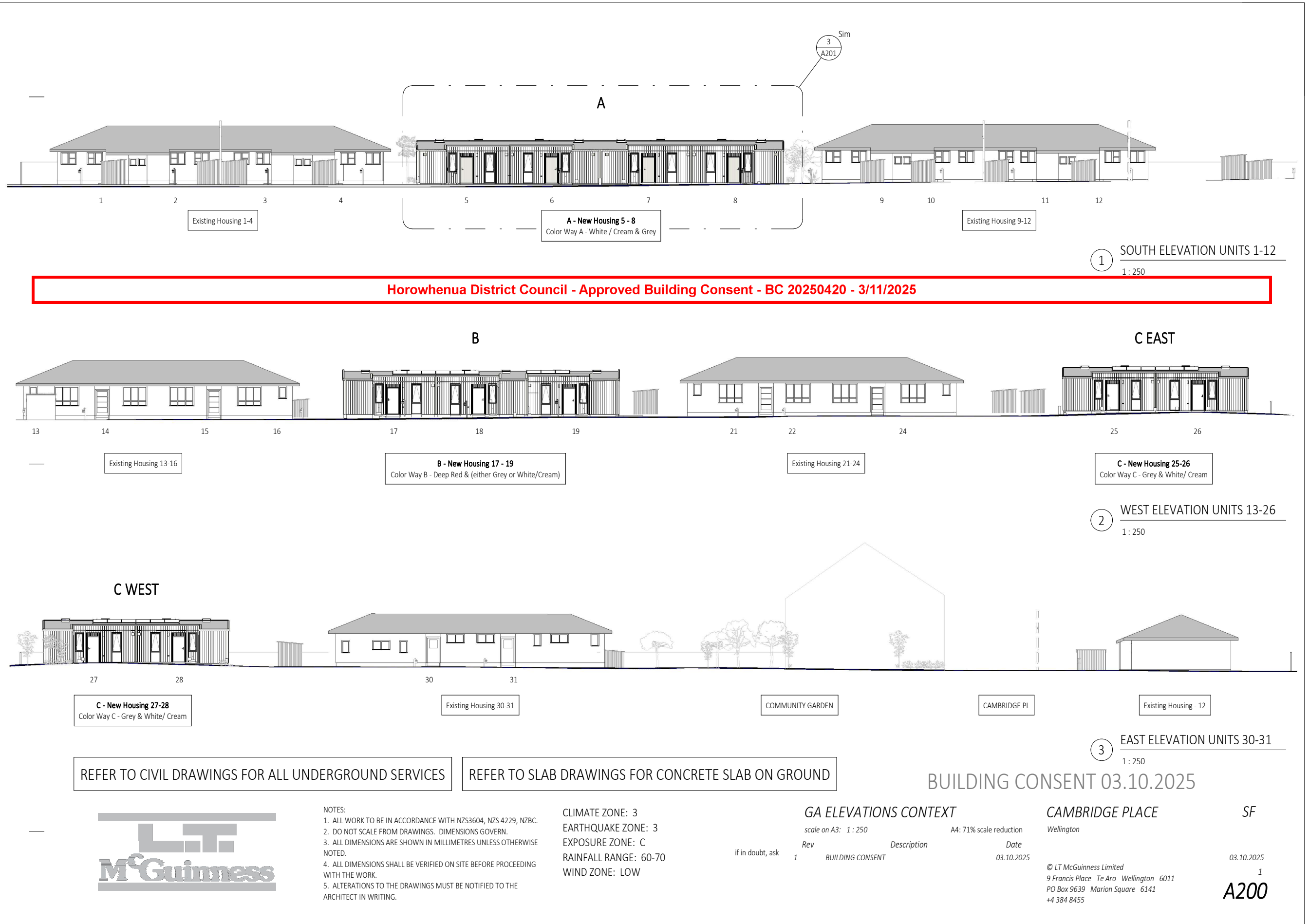
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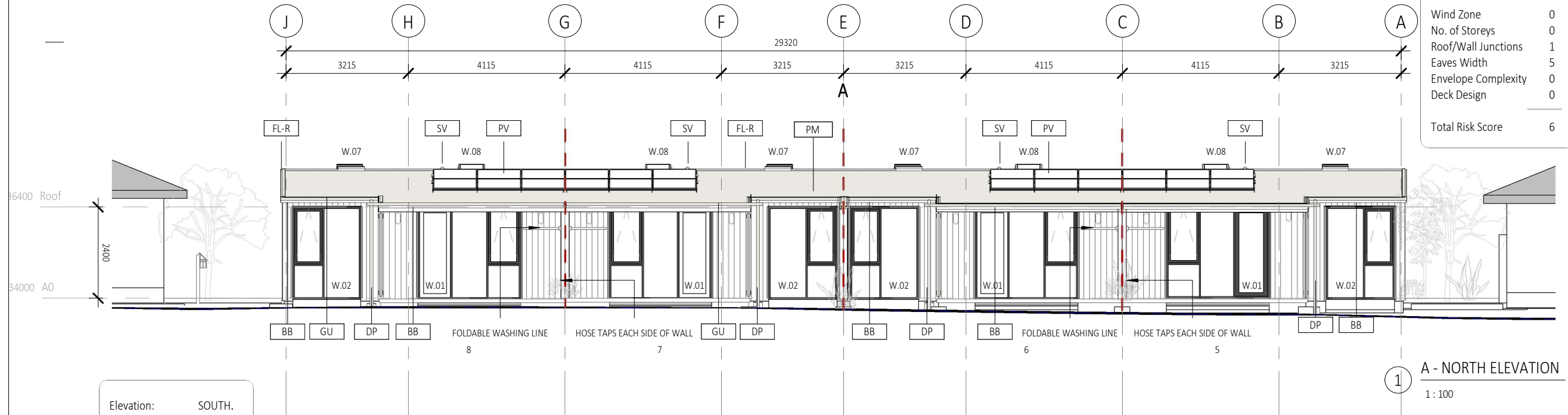
1
A155



Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

Elevation: NORTH.

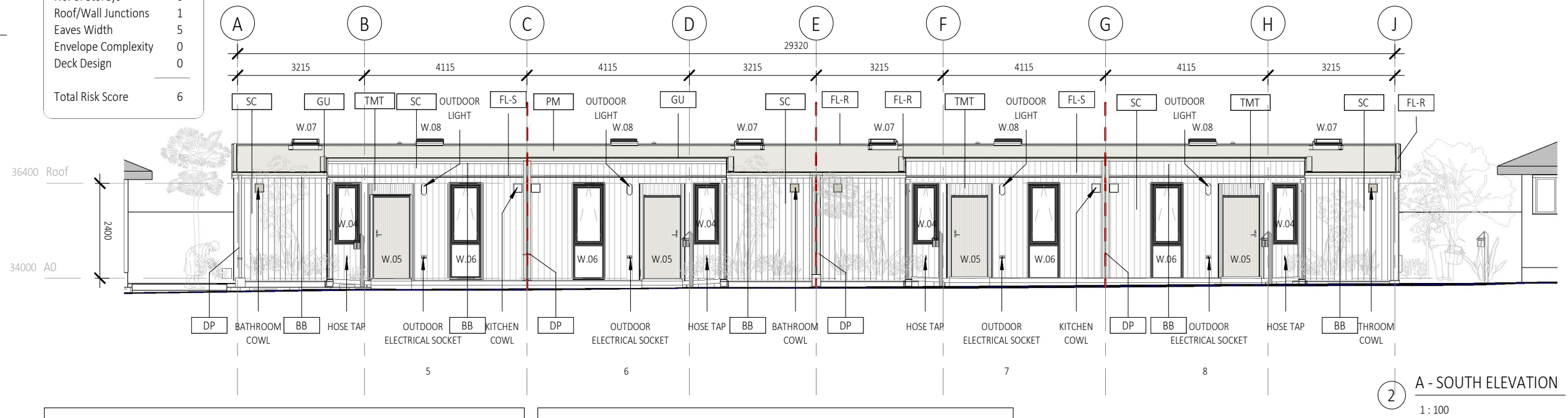
Wind Zone	0
No. of Storeys	0
Roof/Wall Junctions	1
Eaves Width	5
Envelope Complexity	0
Deck Design	0
Total Risk Score	6



1 A - NORTH ELEVATION
1 : 100

Elevation: SOUTH.

Wind Zone	0
No. of Storeys	0
Roof/Wall Junctions	1
Eaves Width	5
Envelope Complexity	0
Deck Design	0
Total Risk Score	6



2 A - SOUTH ELEVATION
1 : 100

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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 2. DO NOT SCALE FROM DRAWINGS. DIMENSIONS GOVERN.
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 4. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
 5. ALTERATIONS TO THE DRAWINGS MUST BE NOTIFIED TO THE ARCHITECT IN WRITING.

CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

GA ELEVATION NORTH & SOUTH

scale on A3: As indicated A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask

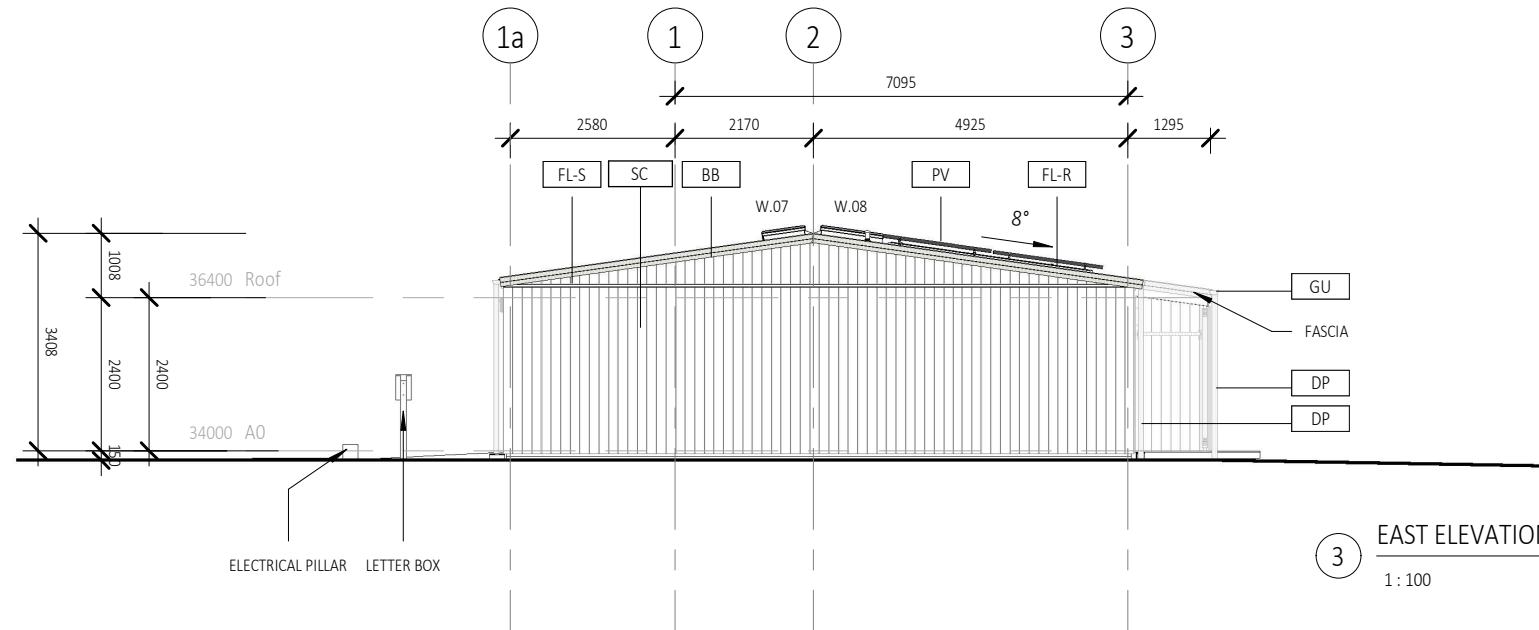
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03.10.2025

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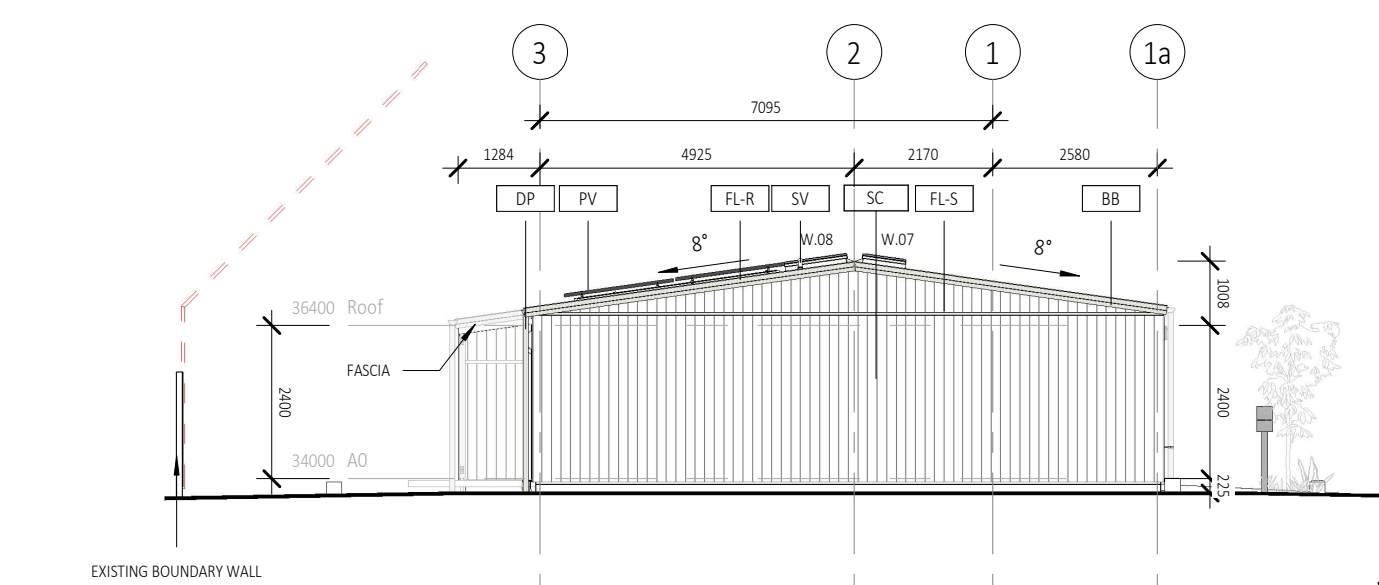
1
A201

Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025



3 EAST ELEVATION
1:100

4 E2 MATRIX EAST
1:10



1 WEST ELEVATION
1:100

2 E2 MATRIX WEST
1:10

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
1. ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
 2. DO NOT SCALE FROM DRAWINGS. DIMENSIONS GOVERN.
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

GA ELEVATION EAST & WEST

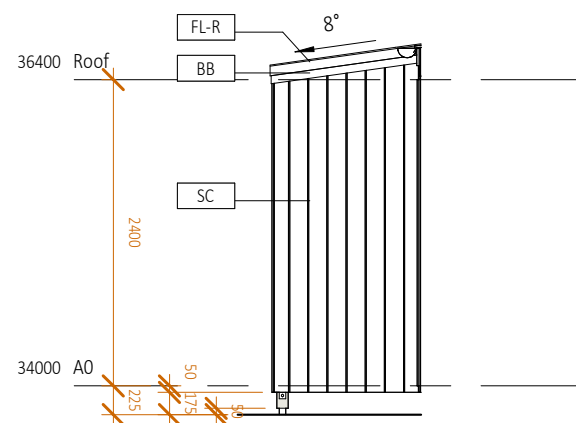
scale on A3: As indicated A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

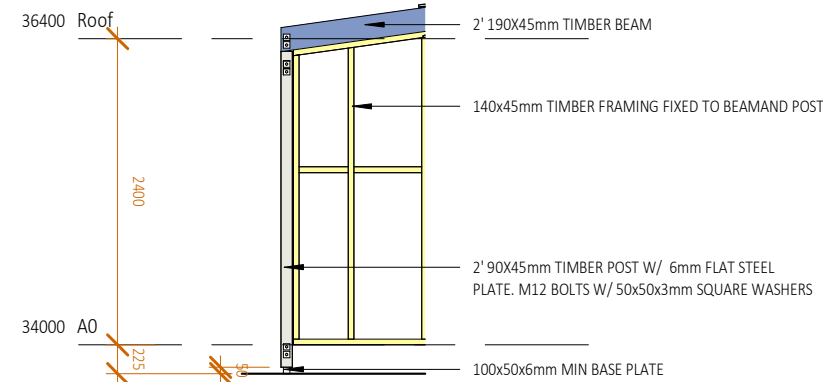
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1
A202

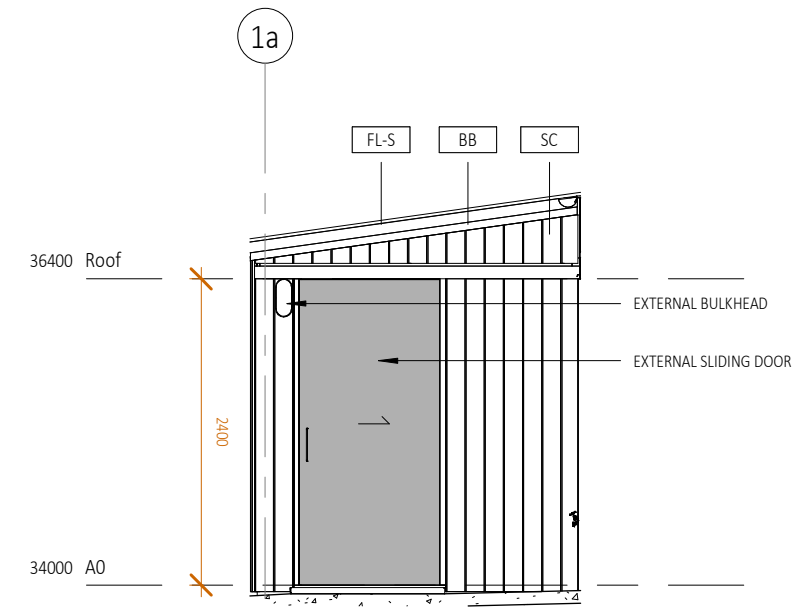
Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025



1 GRID 3 BLOCK A WING WALL ELEVATION
1:50



2 GRID 3 BLOCK A WING WALL FRAMING
1:50



3 SHED DOOR ELEVATION
1:50

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

scale on A3: 1:50
A4: 71% scale reduction
if in doubt, ask

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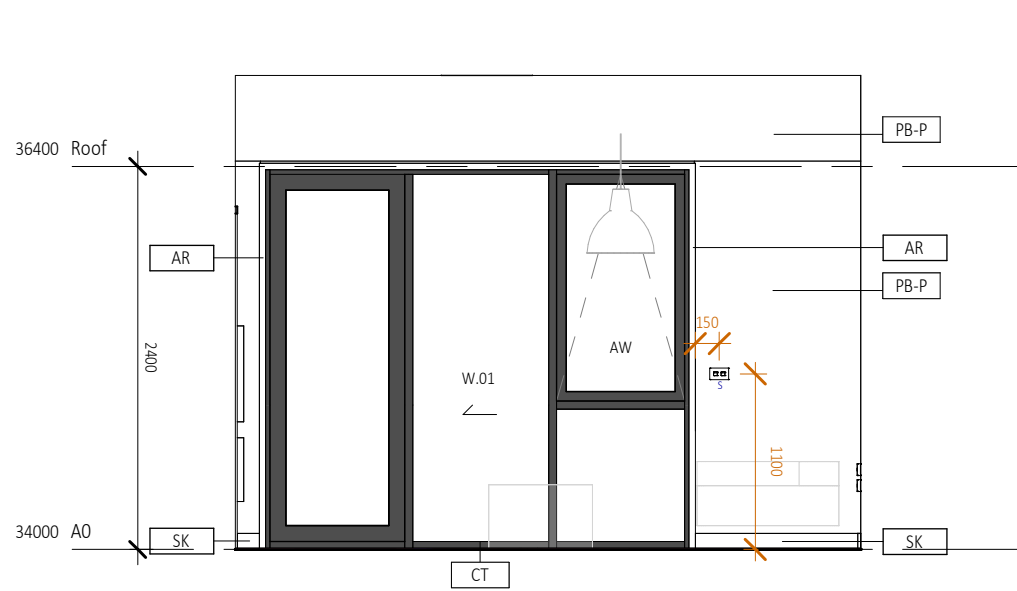
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SF

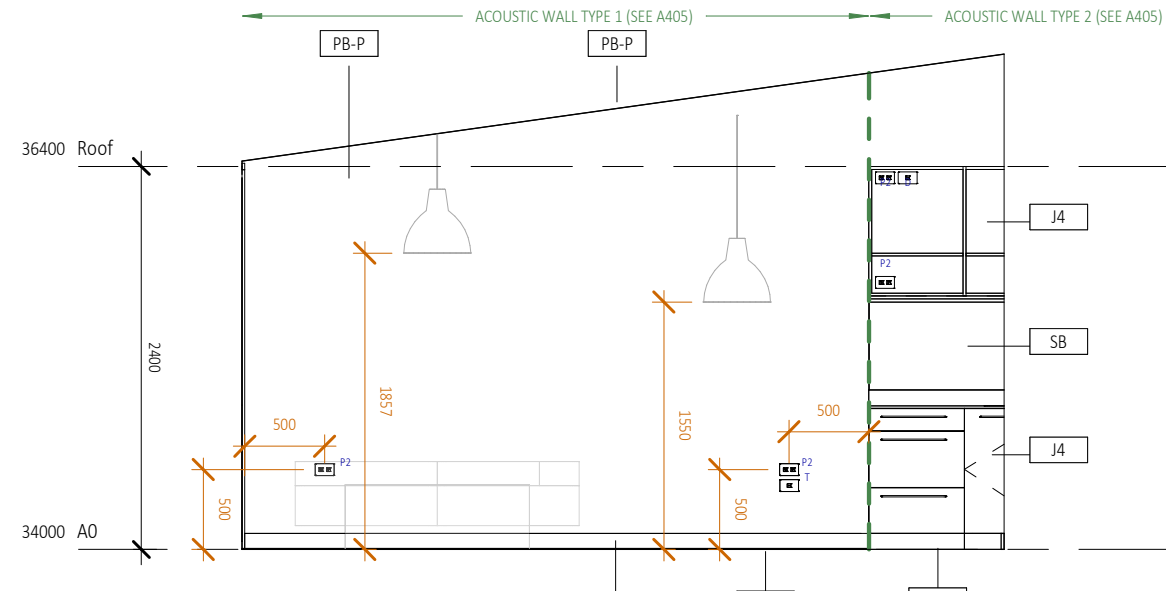
03.10.2025

1
A203

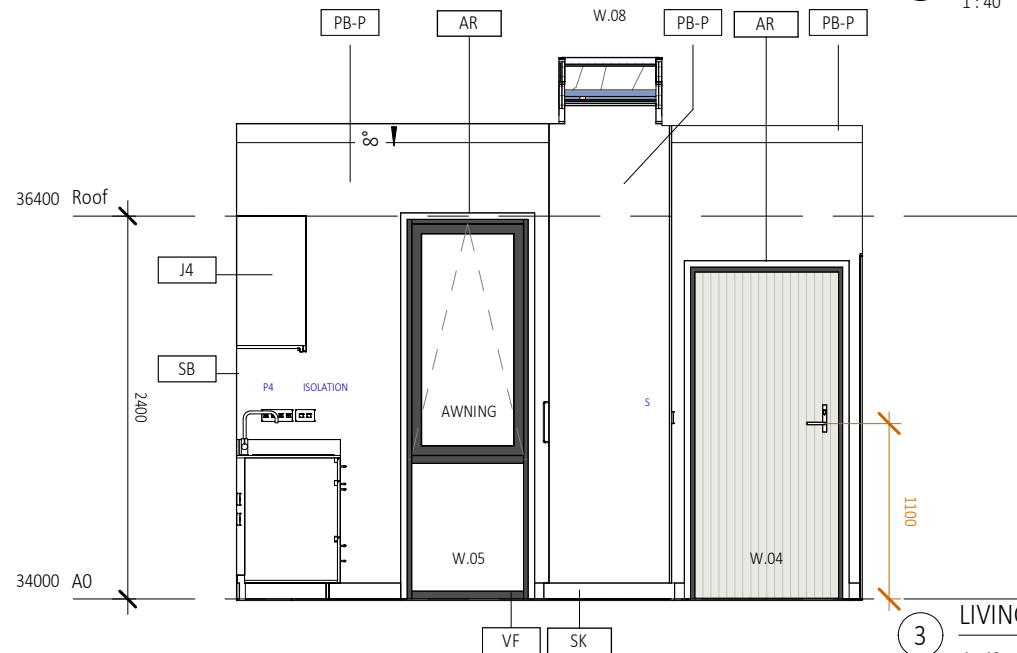
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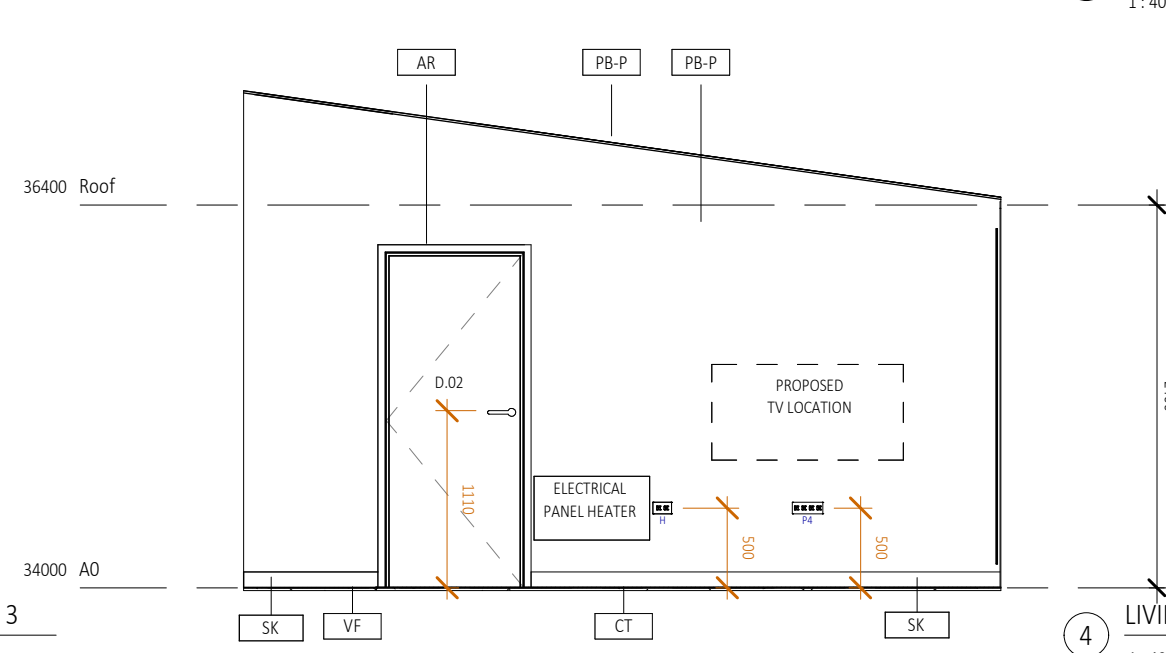
1 LIVING ROOM 1
1:40



2 LIVING ROOM 2
1:40



3 LIVING ROOM 3
1:40



4 LIVING ROOM 4
1:40

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

LIVING ROOM ELEVATIONS
scale on A3: 1:40

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

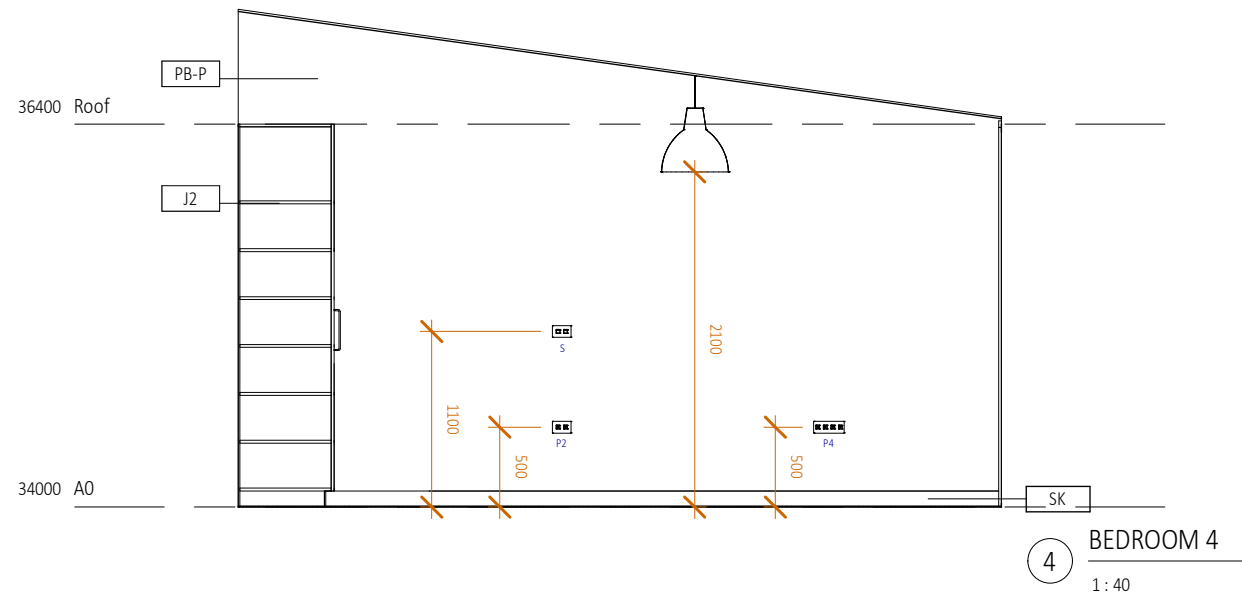
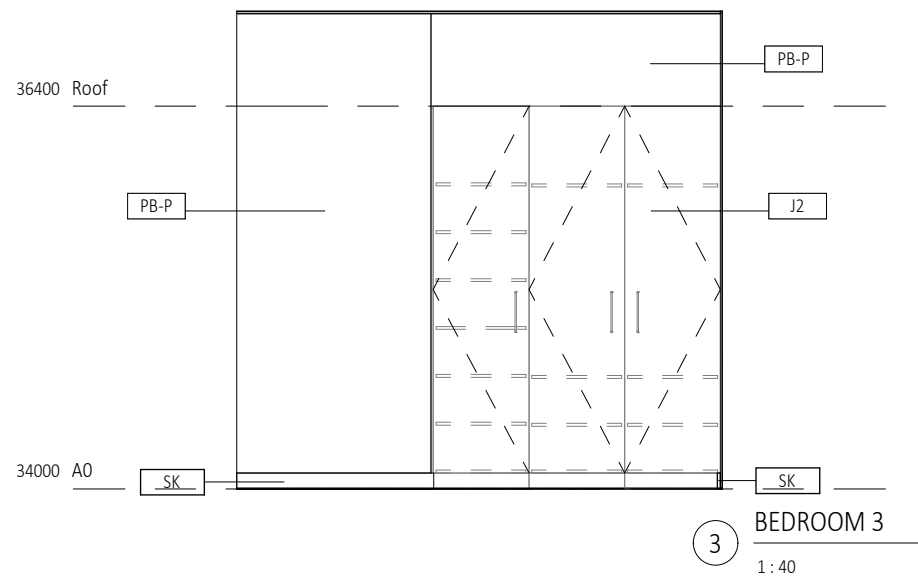
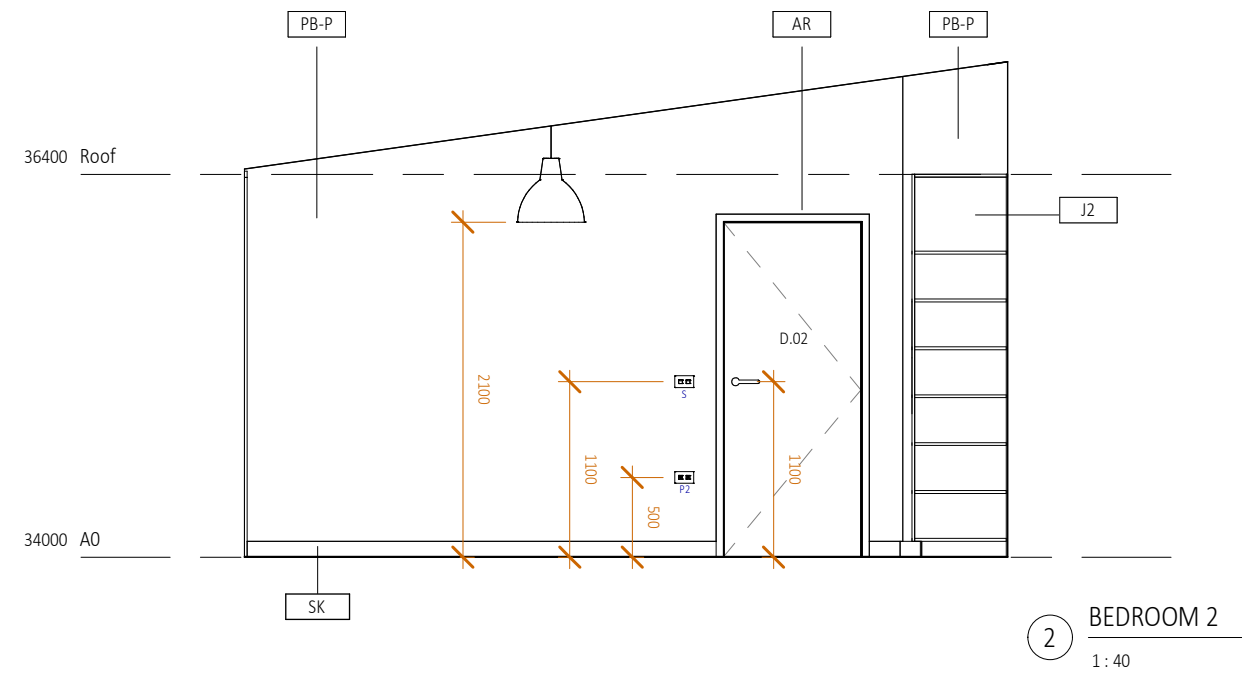
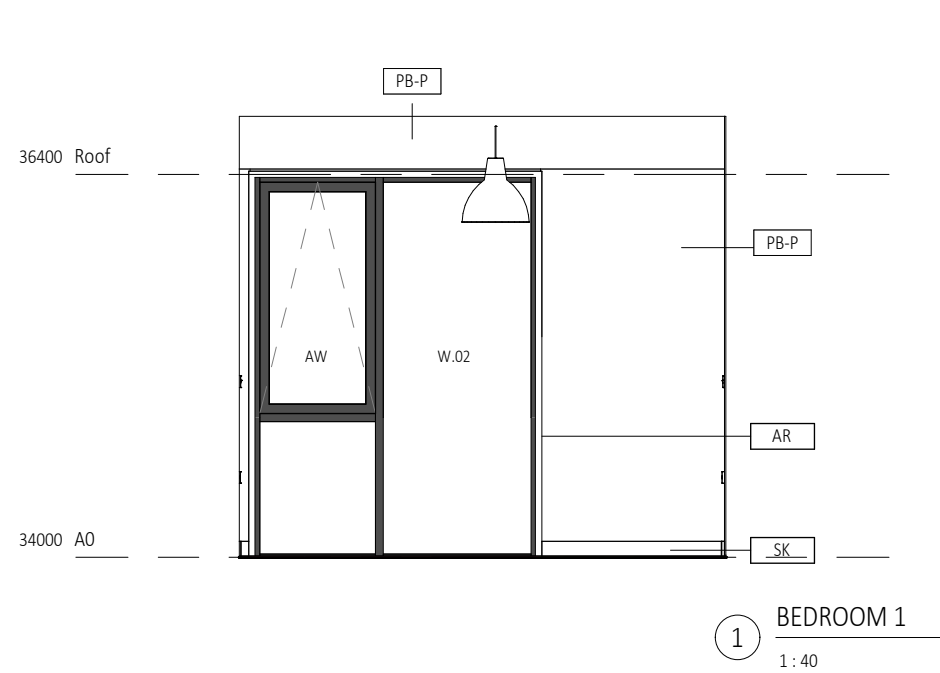
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23.09.25
1
A250

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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
 1. ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
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CLIMATE ZONE: 3
 EARTHQUAKE ZONE: 3
 EXPOSURE ZONE: C
 RAINFALL RANGE: 60-70
 WIND ZONE: LOW

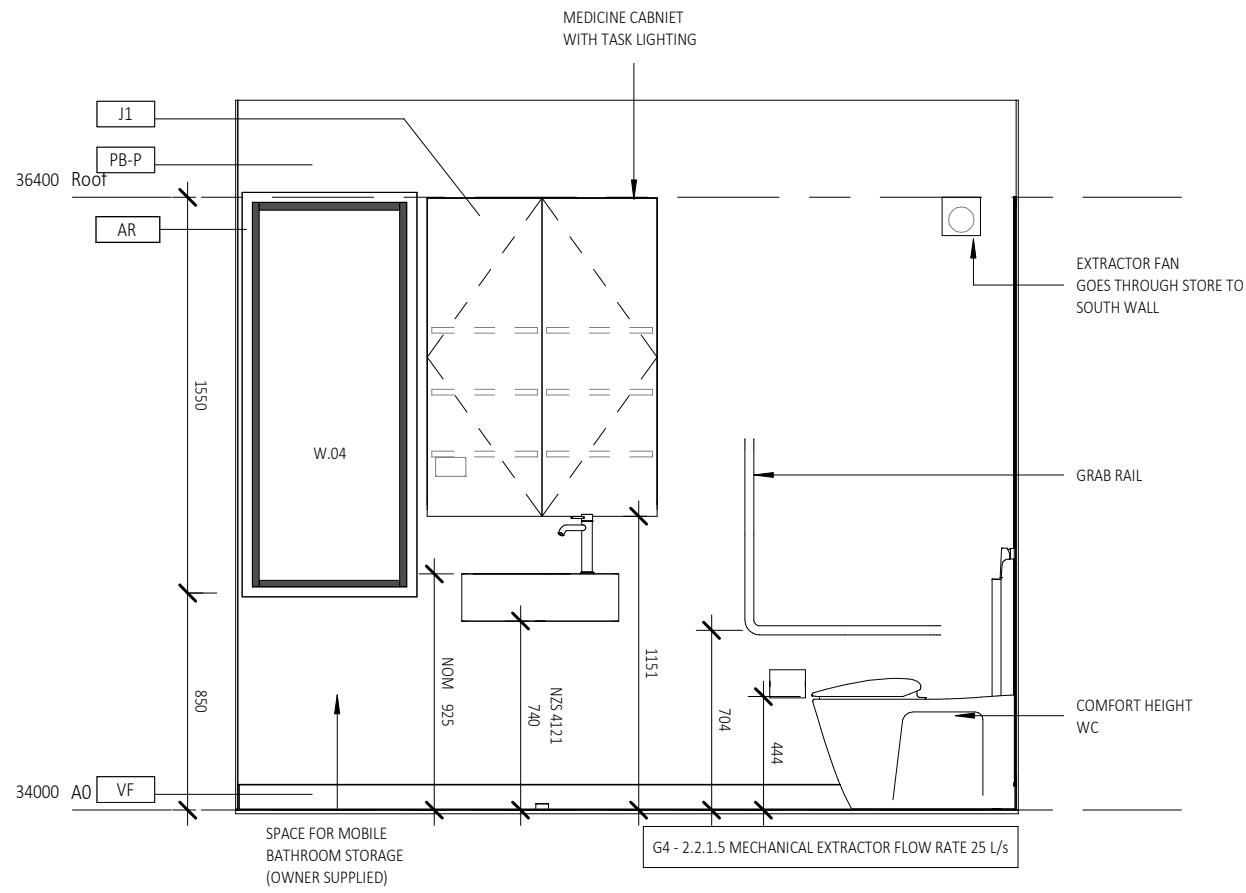
BEDROOM ELEVATIONS
 scale on A3: 1 : 40
 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

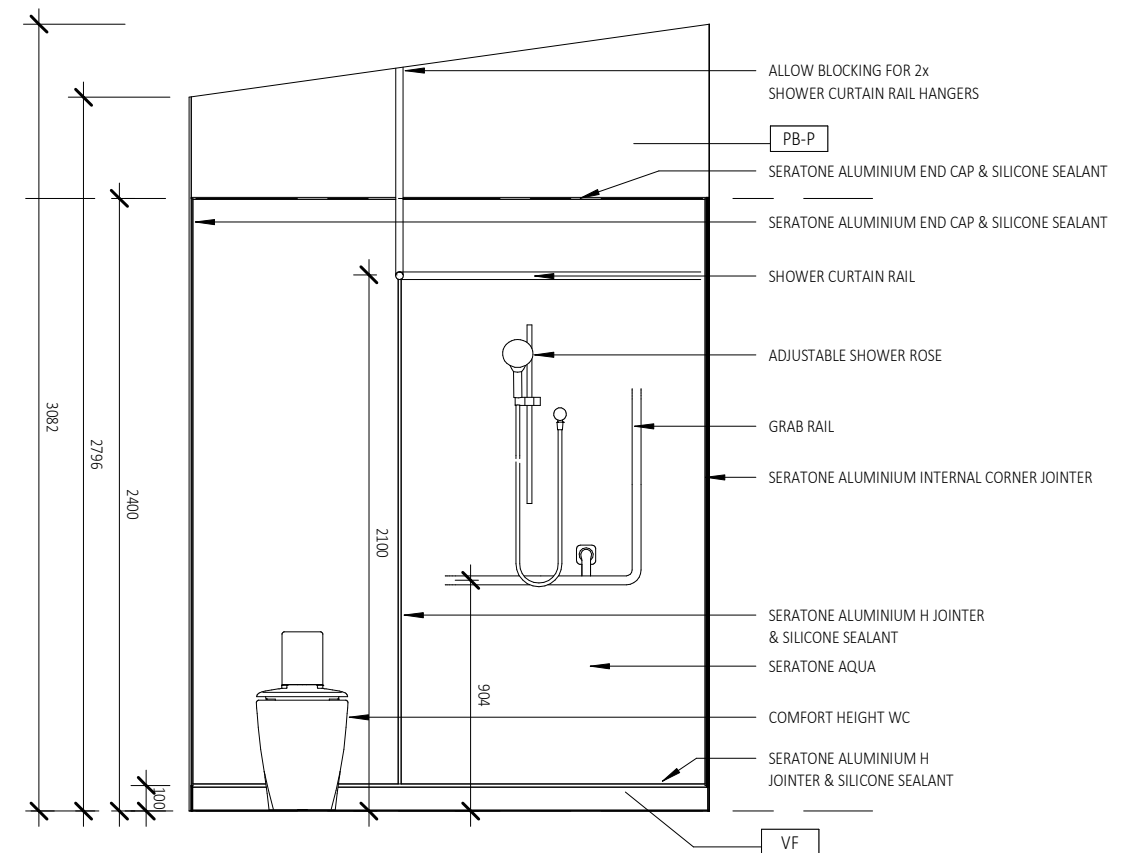
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1 BATHROOM ELEVATION 01
1:25



2 BATHROOM ELEVATION 02
1:25

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
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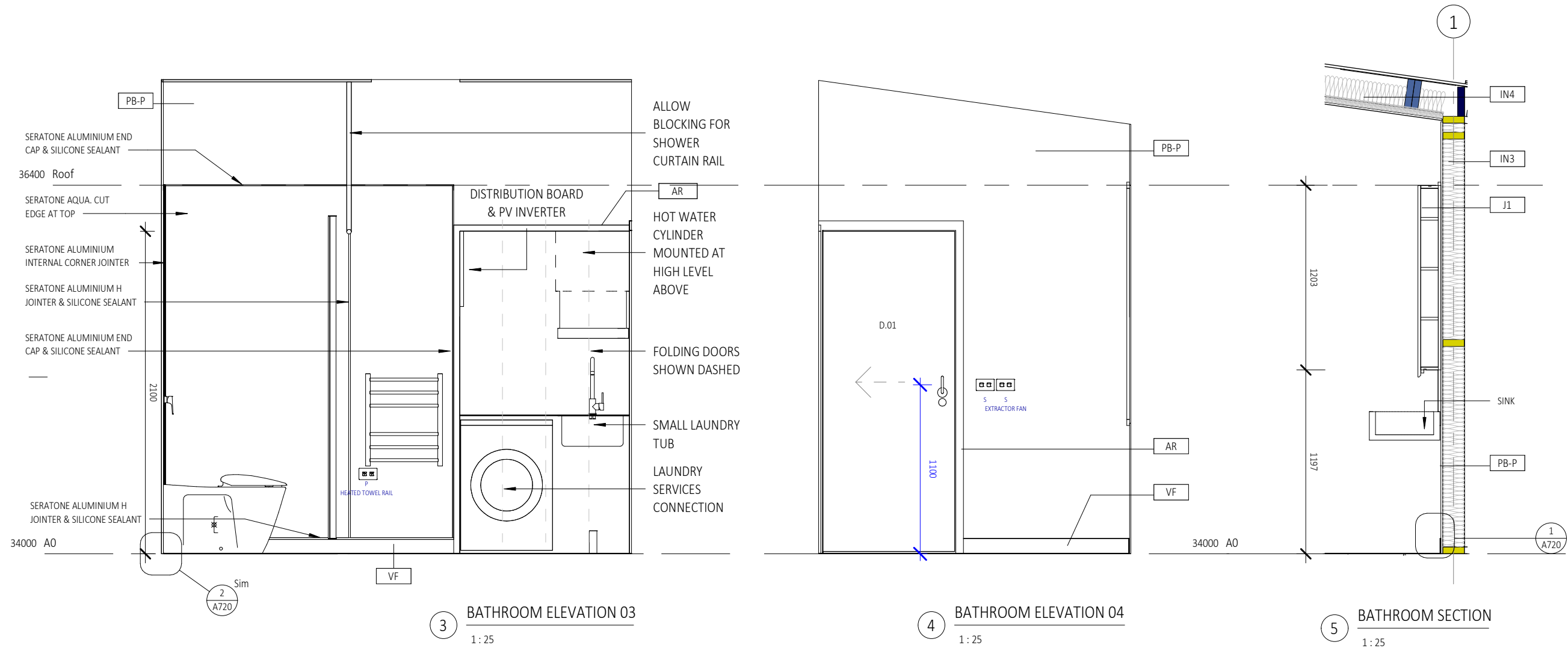
CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

BATHROOM ELEVATIONS		
Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

scale on A3: 1:25
A4: 71% scale reduction
if in doubt, ask

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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask

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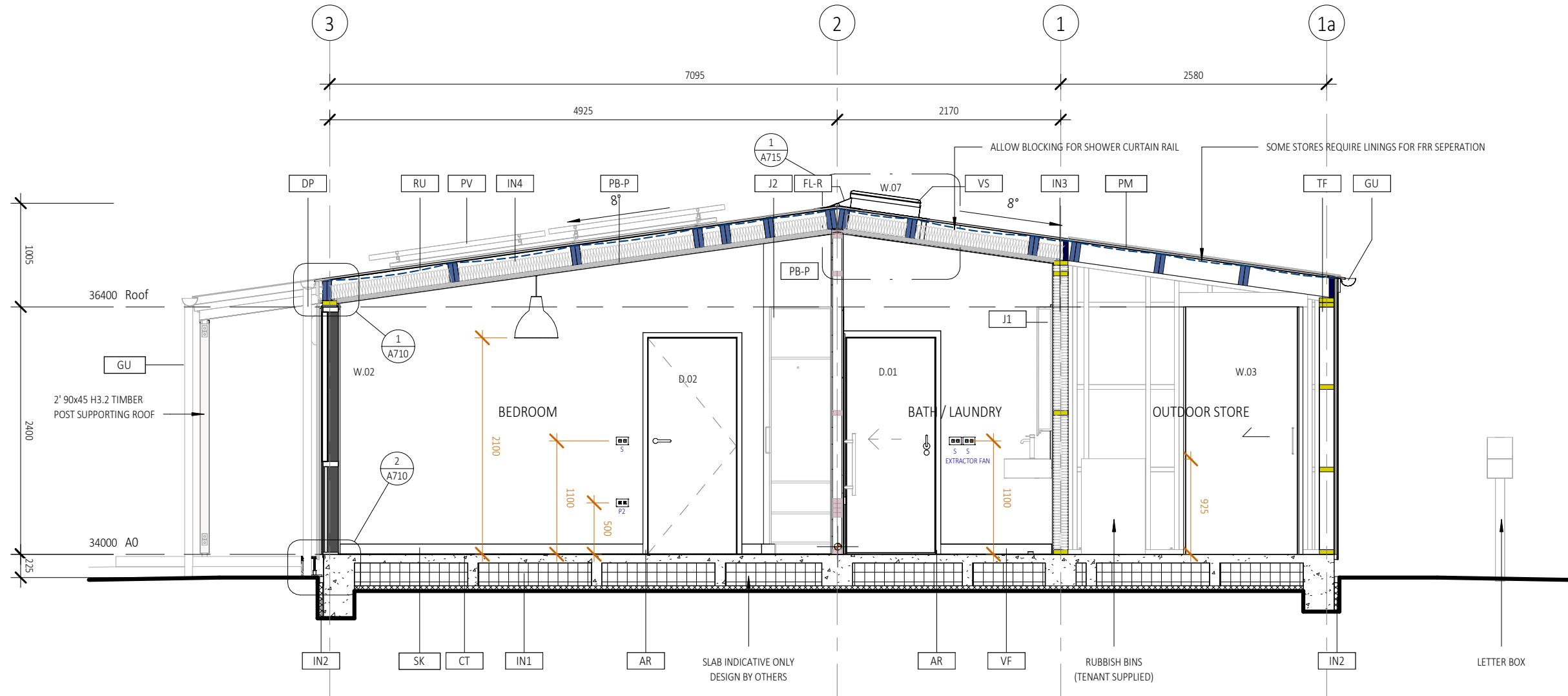
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03.10.2025

1
A253

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1 Section A-A'
1:40

H1: ENERGY EFFICIENCY NOTES

ROOF:
190 RAFTERS, 50mm AIR GAP, 140 INSULATION R3.4
45 CEILING BATTENS, R1
R4.4 TOTAL

SKYLIGHTS:
VELUX VSE ELECTRIC OPENING SKYLIGHT, R0.38

FLOOR:
RIBRAFT 220mm + 50mm EPS UNDER SLAB, R2.03

WALLS:
140mm TIMBER FRAME, R 3.4

WINDOWS:
THERMALLY BROKEN LOW E IGU, R0.46

FRONT DOOR:
OPAQUE DOOR, R0.39

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:**
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SECTION A-A'
scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

A4: 71% scale reduction

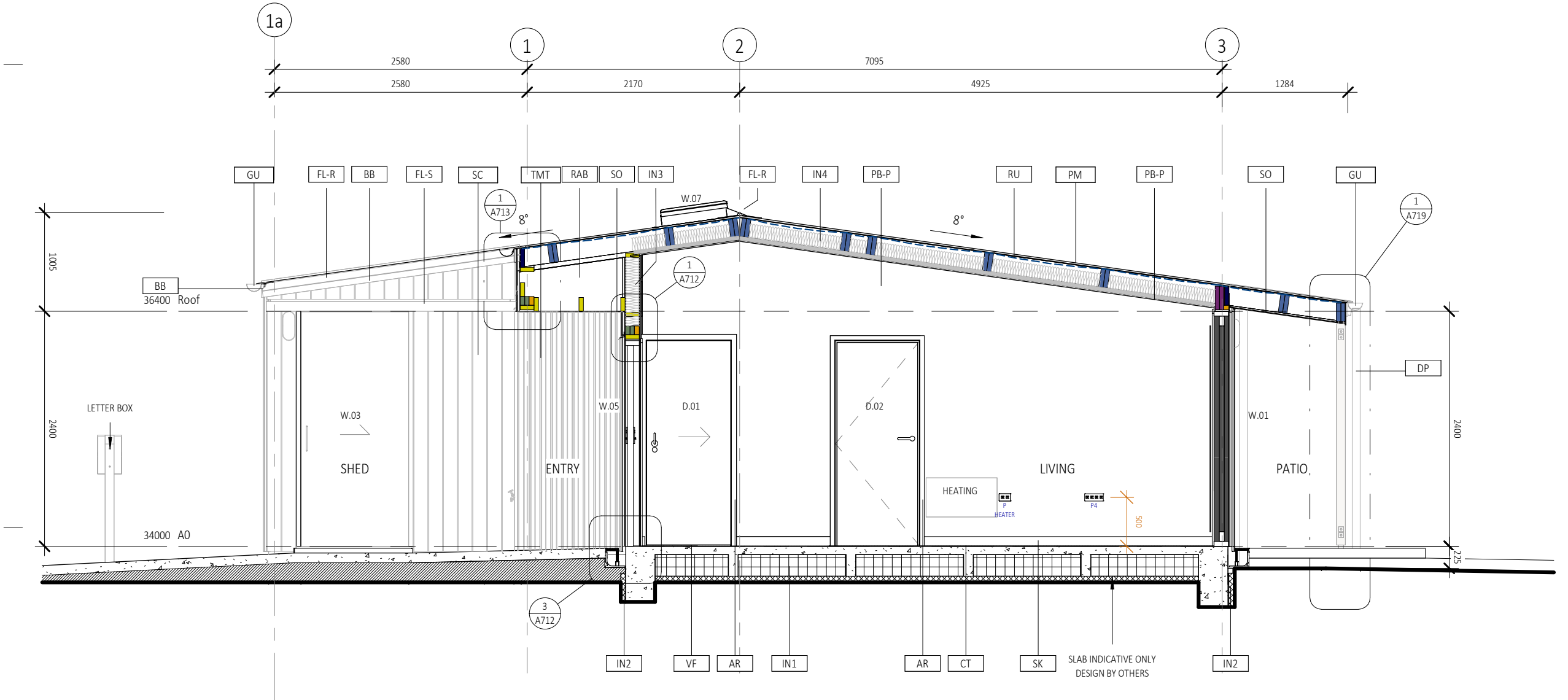
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1
A300

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H1: ENERGY EFFICIENCY NOTES

ROOF:
190 RAFTERS, 50mm AIR GAP, 140 INSULATION R3.4
45 CEILING BATTENS, R1
R4.4 TOTAL

SKYLIGHTS:
VELUX VSE ELECTRIC OPENING SKYLIGHT, R0.38

FLOOR:
RIBRAFT 220mm + 50mm EPS UNDER SLAB, R2.03

WALLS:
140mm TIMBER FRAME, R 3.4

WINDOWS:
THERMALLY BROKEN LOW E IGU, R0.46

FRONT DOOR:
OPAQUE DOOR, R0.39

1 Section B-B'
1:40

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

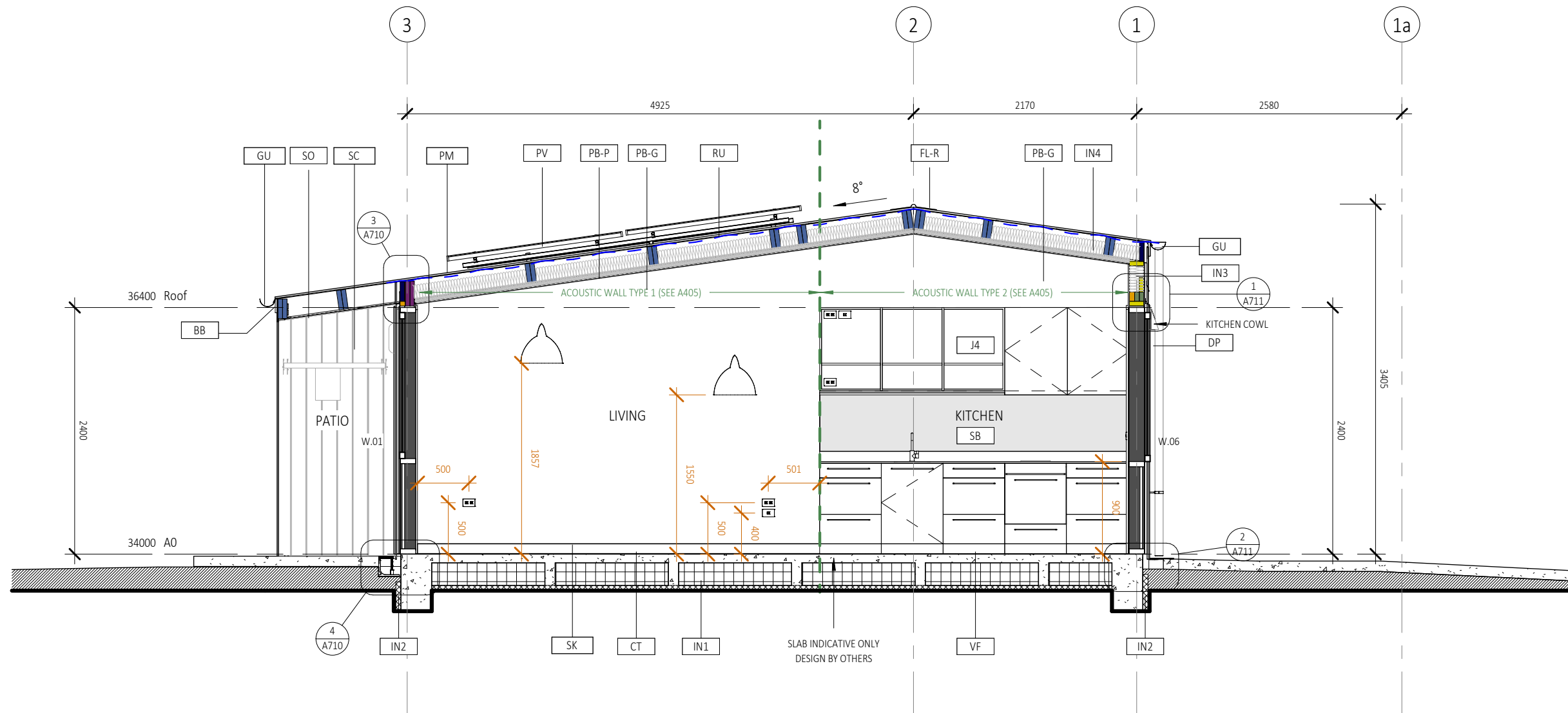
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A301

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1 Section C-C'
1:40

H1: ENERGY EFFICIENCY NOTES

ROOF: 190 RAFTERS, 50mm AIR GAP, 140 INSULATION R3.4 45 CEILING BATTENS, R1 R4.4 TOTAL	WALLS: 140mm TIMBER FRAME, R 3.4
SKYLIGHTS: VELUX VSE ELECTRIC OPENING SKYLIGHT, R0.38	WINDOWS: THERMALLY BROKEN LOW E IGU, R0.46
FLOOR: RIBRAFT 220mm + 50mm EPS UNDER SLAB, R2.03	FRONT DOOR: OPAQUE DOOR, R0.39

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND



- NOTES:**
1. ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SECTION C-C'
scale on A3: As indicated
Rev 1 BUILDING CONSENT
if in doubt, ask

A4: 71% scale reduction
Date 03.10.2025

BUILDING CONSENT 03.10.2025

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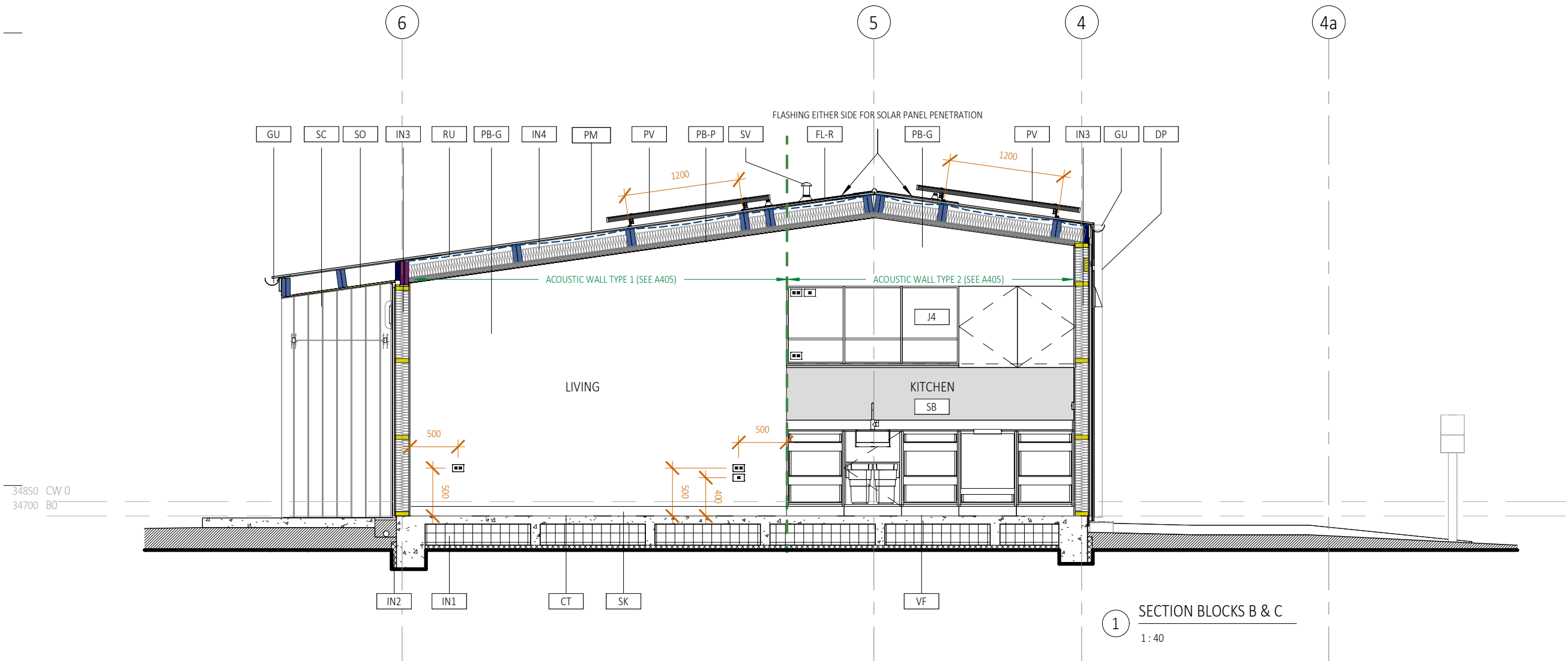
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1
A302

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1 SECTION BLOCKS B & C
1:40

H1: ENERGY EFFICIENCY NOTES

<p>ROOF: 190 RAFTERS, 50mm AIR GAP, 140 INSULATION R3.4 45 CEILING BATTENS, R1 R4.4 TOTAL</p> <p>SKYLIGHTS: VELUX VSE ELECTRIC OPENING SKYLIGHT, R0.38</p> <p>FLOOR: RIBRAFT 220mm + 50mm EPS UNDER SLAB, R2.03</p>	<p>WALLS: 140mm TIMBER FRAME, R 3.4</p> <p>WINDOWS: THERMALLY BROKEN LOW E IGU, R0.46</p> <p>FRONT DOOR: OPAQUE DOOR, R0.39</p>
--	--

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND



- NOTES:
1. ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SECTION BLOCKS B & C
scale on A3: As indicated
Rev 1 BUILDING CONSENT

A4: 71% scale reduction
Date 03.10.2025

BUILDING CONSENT 03.10.2025

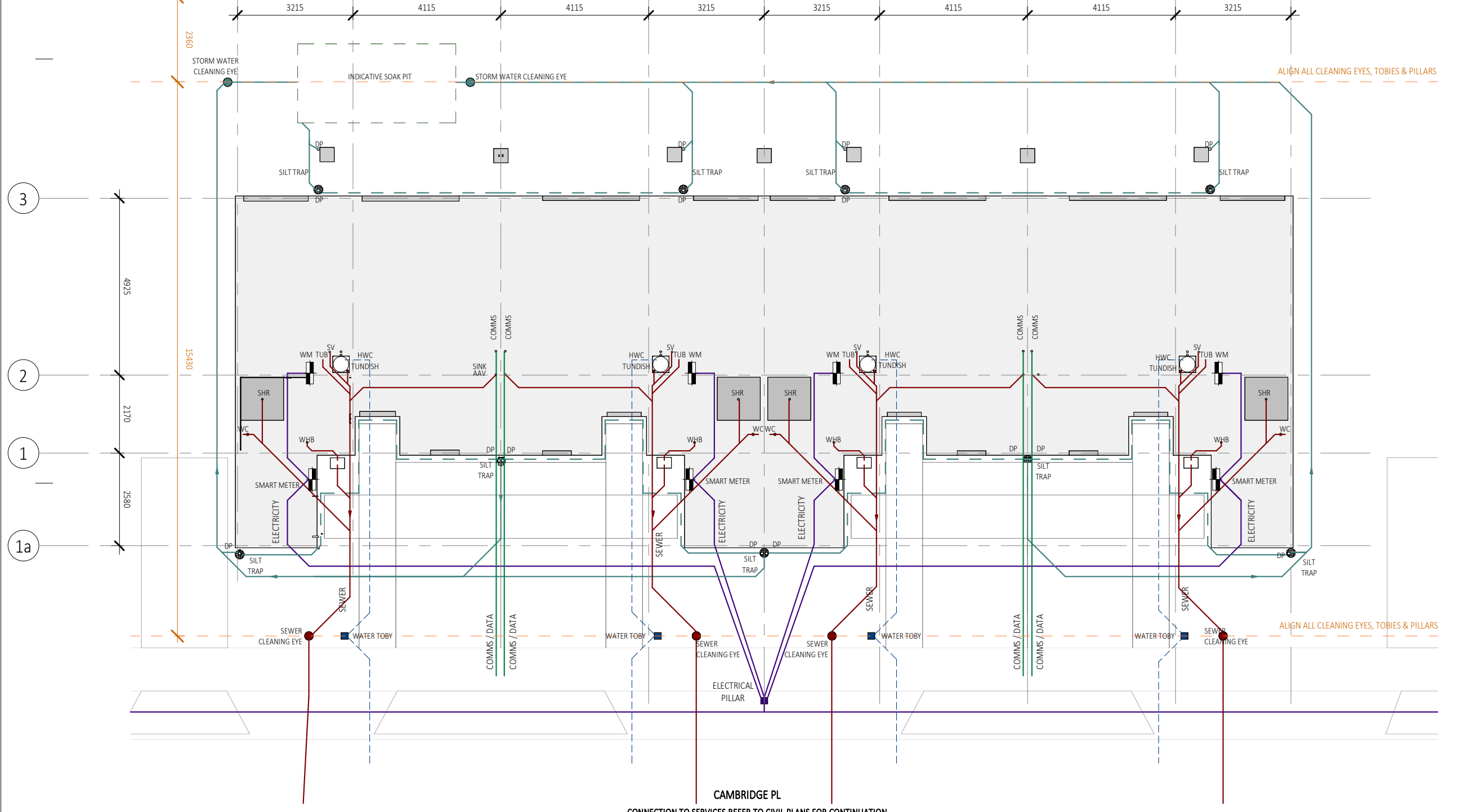
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A303

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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SERVICES PLAN BLOCK A
scale on A3: 1 : 100 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

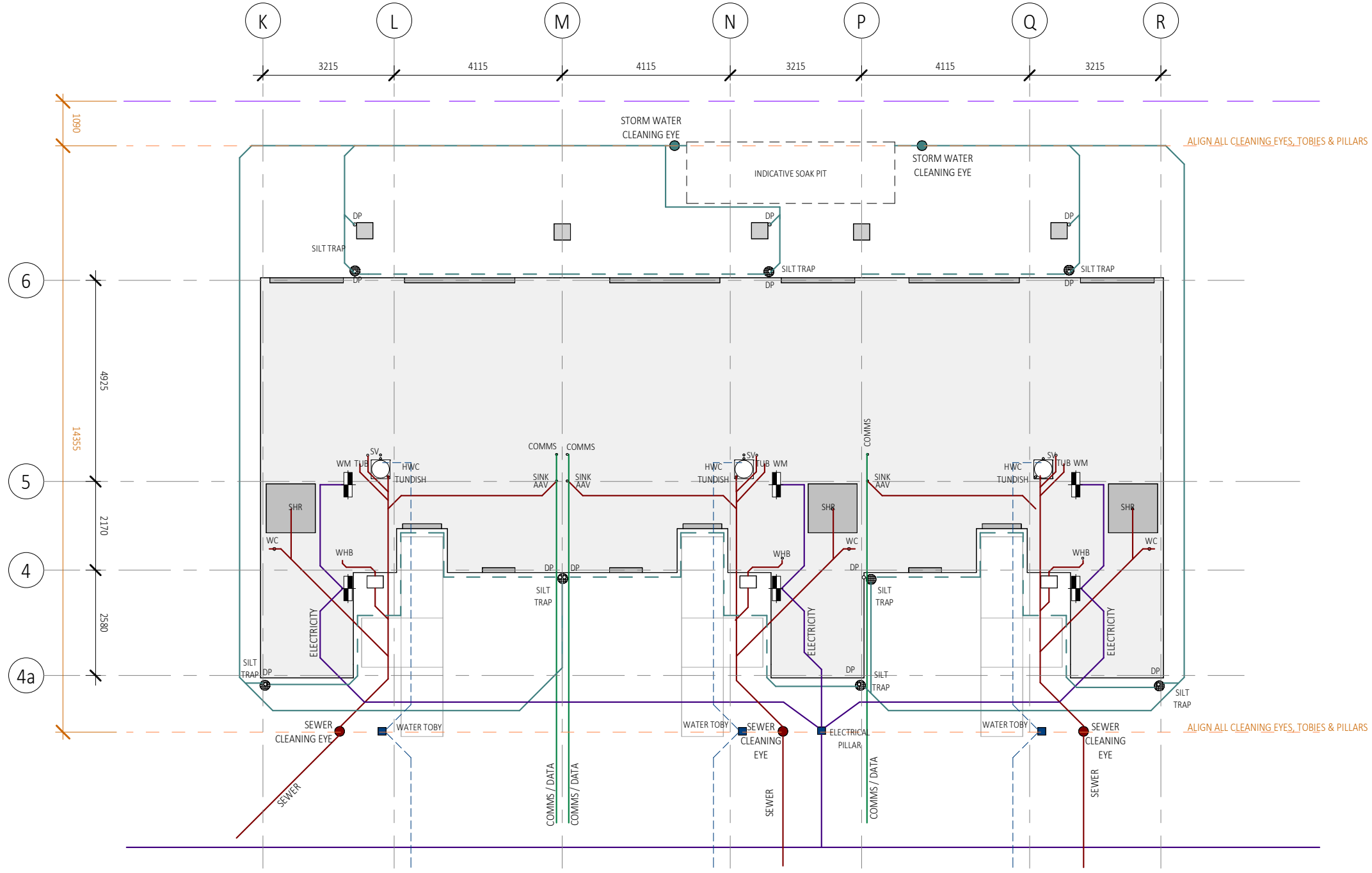
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CAMBRIDGE PL
CONNECTION TO SERVICES REFER TO CIVIL PLANS FOR CONTINUATION

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

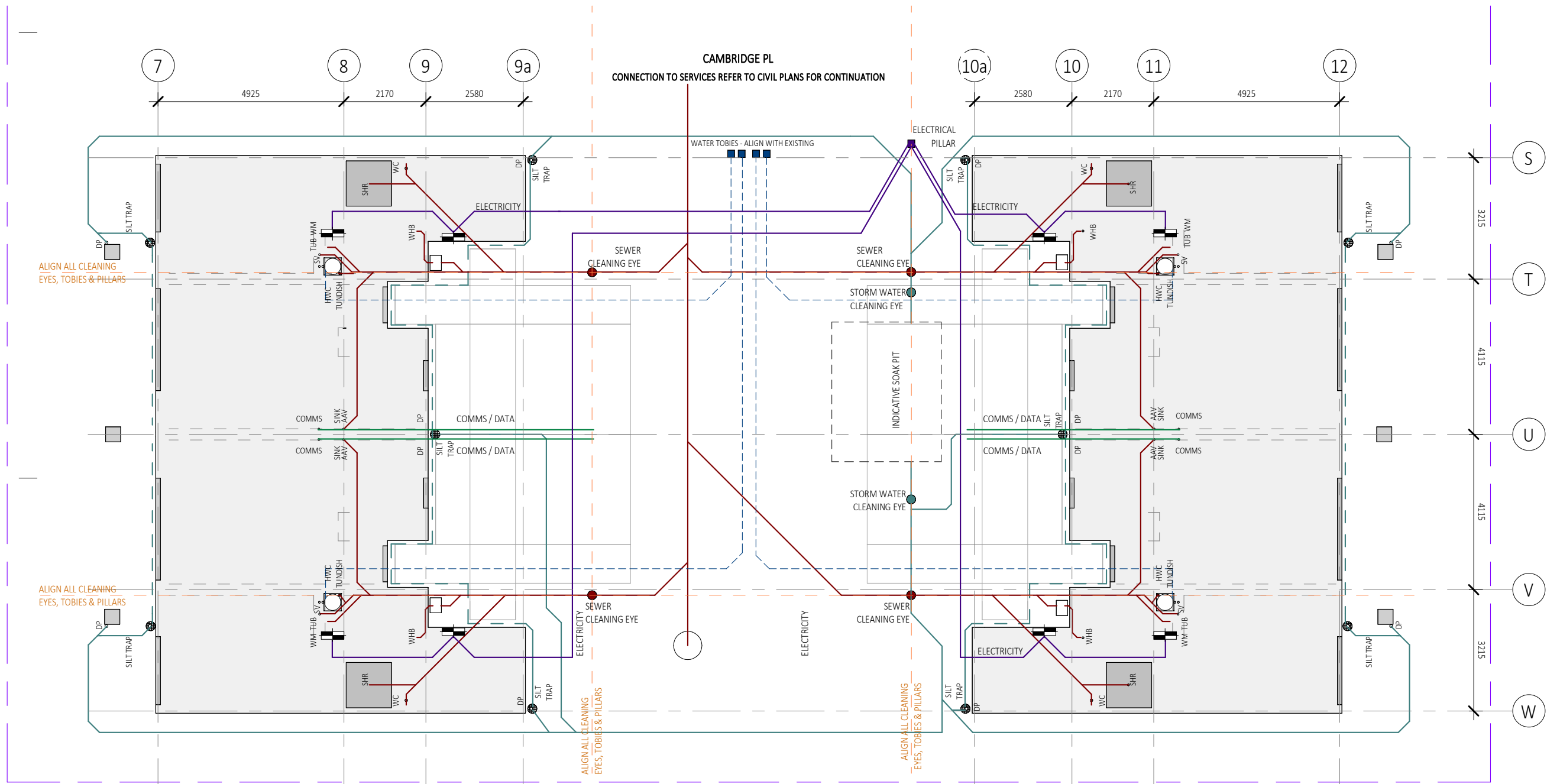
Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

scale on A3: 1 : 100
A4: 71% scale reduction
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03.10.2025
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A306

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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

if in doubt, ask

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

SERVICES PLAN BLOCK C

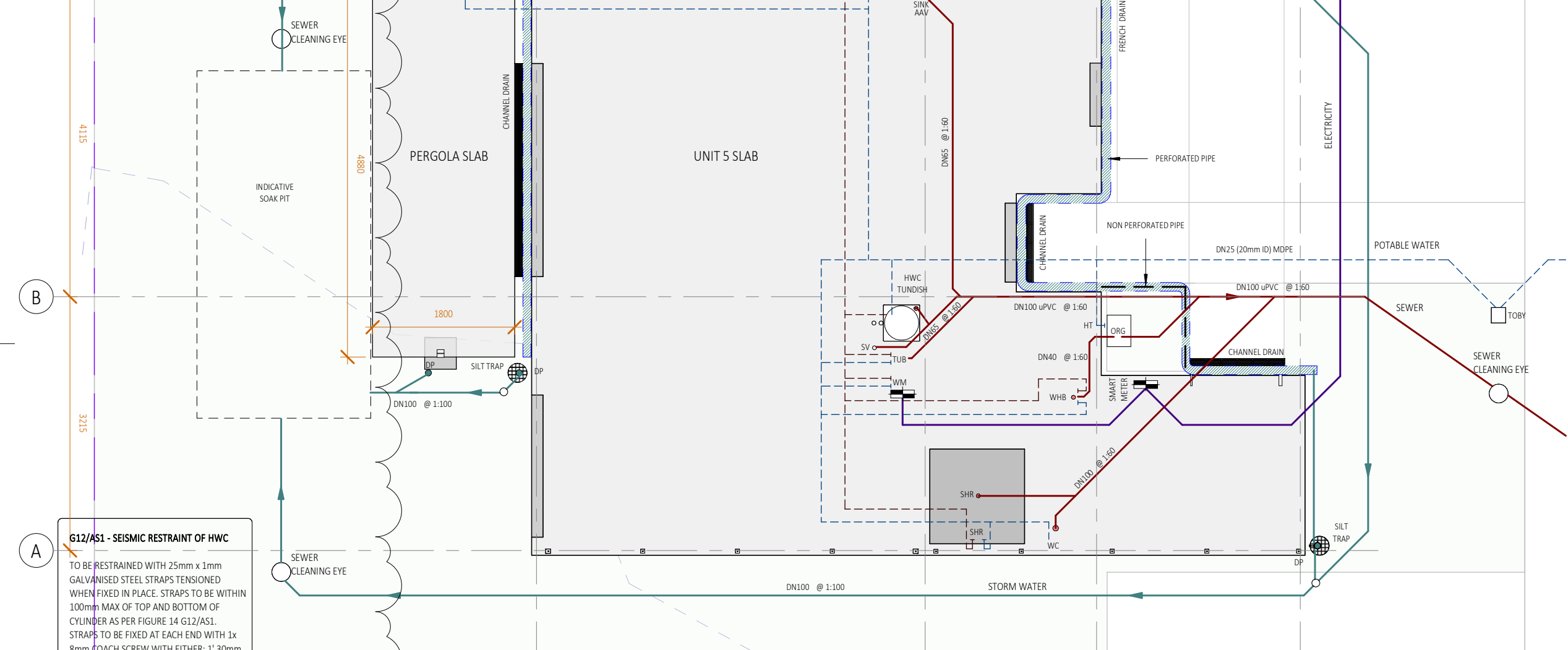
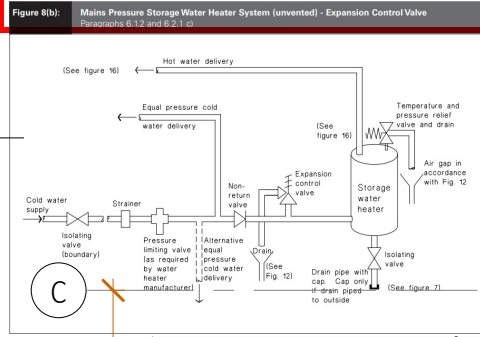
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03.10.2025
1
A307

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G12/AS1 - SEISMIC RESTRAINT OF HWC
TO BE RESTRAINED WITH 25mm x 1mm GALVANISED STEEL STRAPS TENSIONED WHEN FIXED IN PLACE. STRAPS TO BE WITHIN 100mm MAX OF TOP AND BOTTOM OF CYLINDER AS PER FIGURE 14 G12/AS1. STRAPS TO BE FIXED AT EACH END WITH 1x 8mm COACH SCREW WITH EITHER: 1' 30mm x 2.0mm WASHER, OR 2' 20mm x 2.5mm. COACH SCREWS TO PENETRATE TIMBER FRAMING MIN 50mm.

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

1 UNIT SERVICES PLAN
1:50

- NOTES:
- ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
 - DO NOT SCALE FROM DRAWINGS. DIMENSIONS GOVERN.
 - ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
 - ALTERATIONS TO THE DRAWINGS MUST BE NOTIFIED TO THE ARCHITECT IN WRITING.

CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

UNIT SERVICES PLAN
scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025
2	RFI 1	16.10.2025

if in doubt, ask

RFI 1 16.10.2025

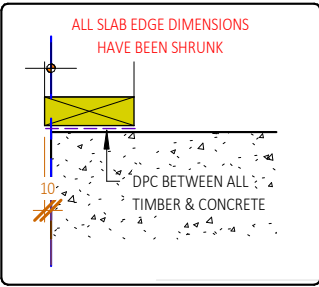
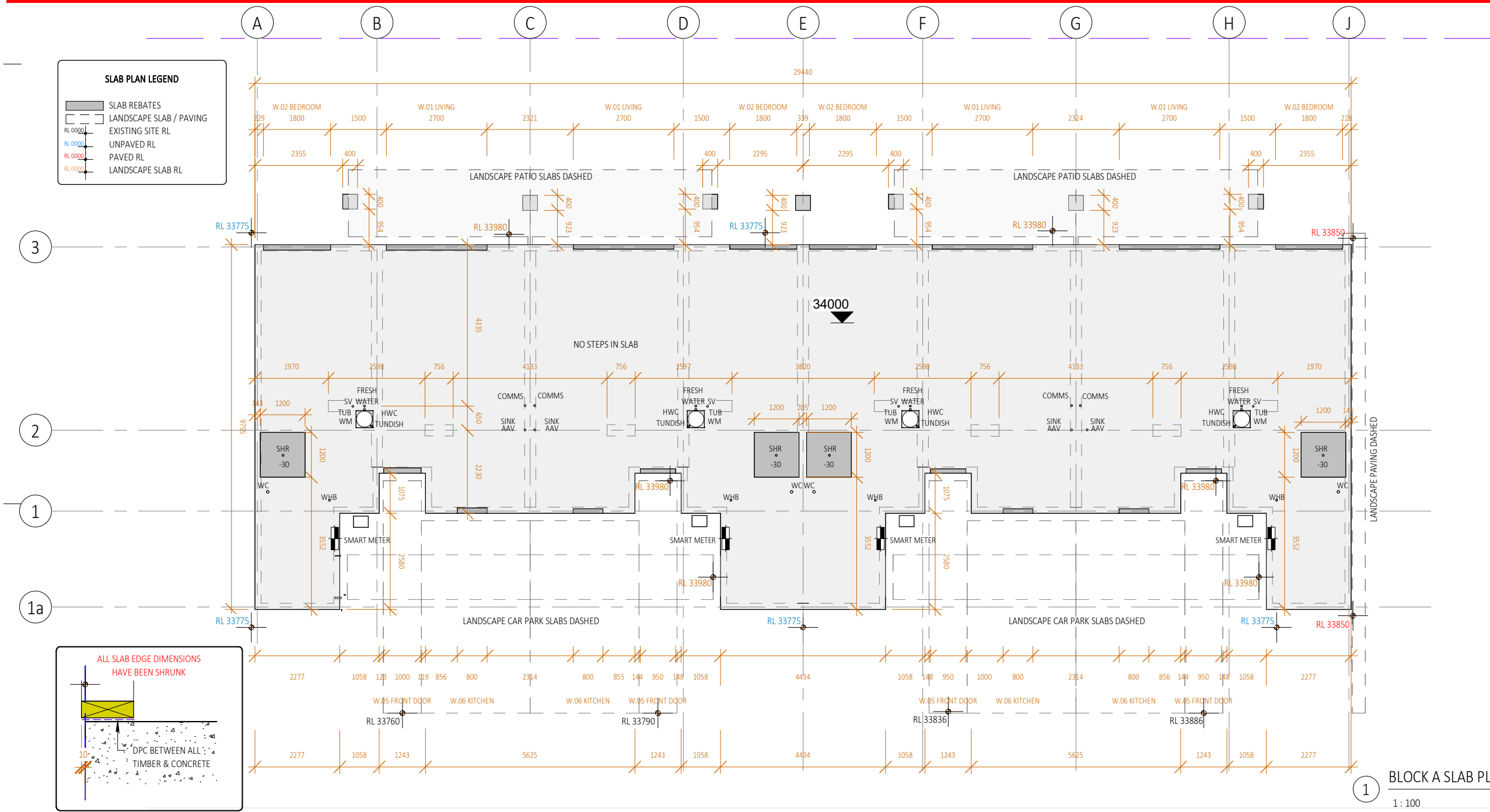
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WINDOW REBATES 30x145

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SLAB PLAN A
scale on A3: As indicated
Rev Description Date
1 BUILDING CONSENT 03.10.2025

if in doubt, ask
north

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SLAB PLAN LEGEND

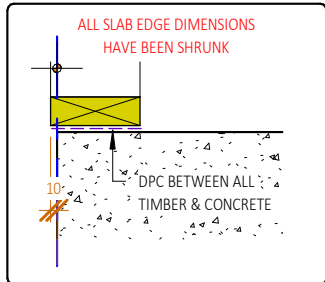
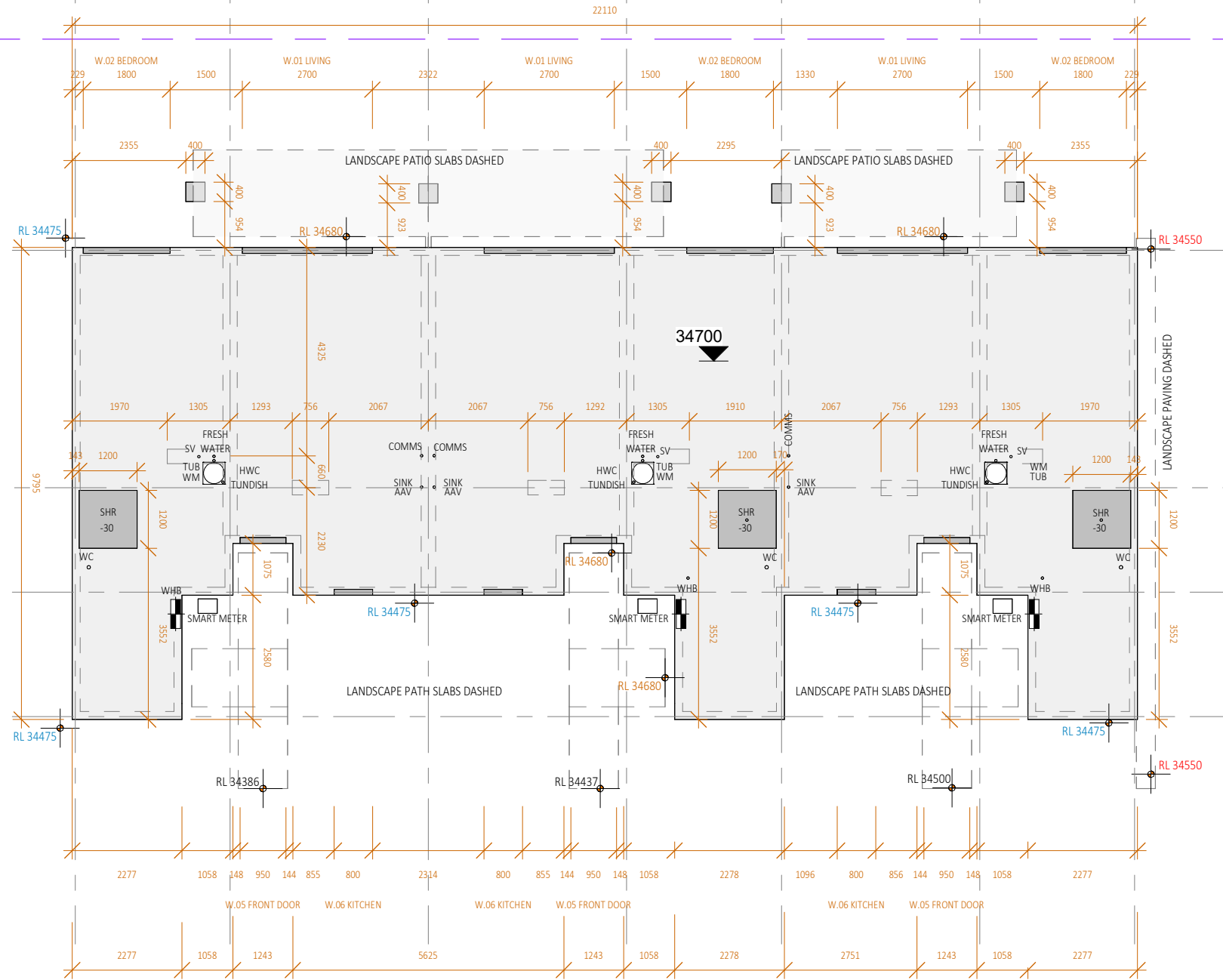
- SLAB REBATES
- LANDSCAPE SLAB / PAVING
- EXISTING SITE RL
- UNPAVED RL
- PAVED RL
- LANDSCAPE SLAB RL

6

5

4

4a



WINDOW REBATES 30x145

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

1 BLOCK B SLAB PLAN
1:100

BUILDING CONSENT 03.10.2025



- NOTES:
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SLAB PLAN B		A4: 71% scale reduction	
scale on A3: As indicated		Date	
Rev	Description	Date	
1	BUILDING CONSENT	03.10.2025	

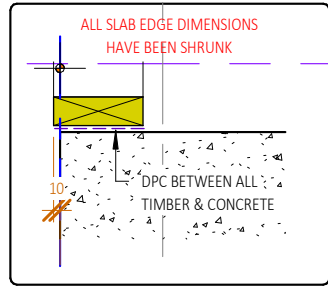
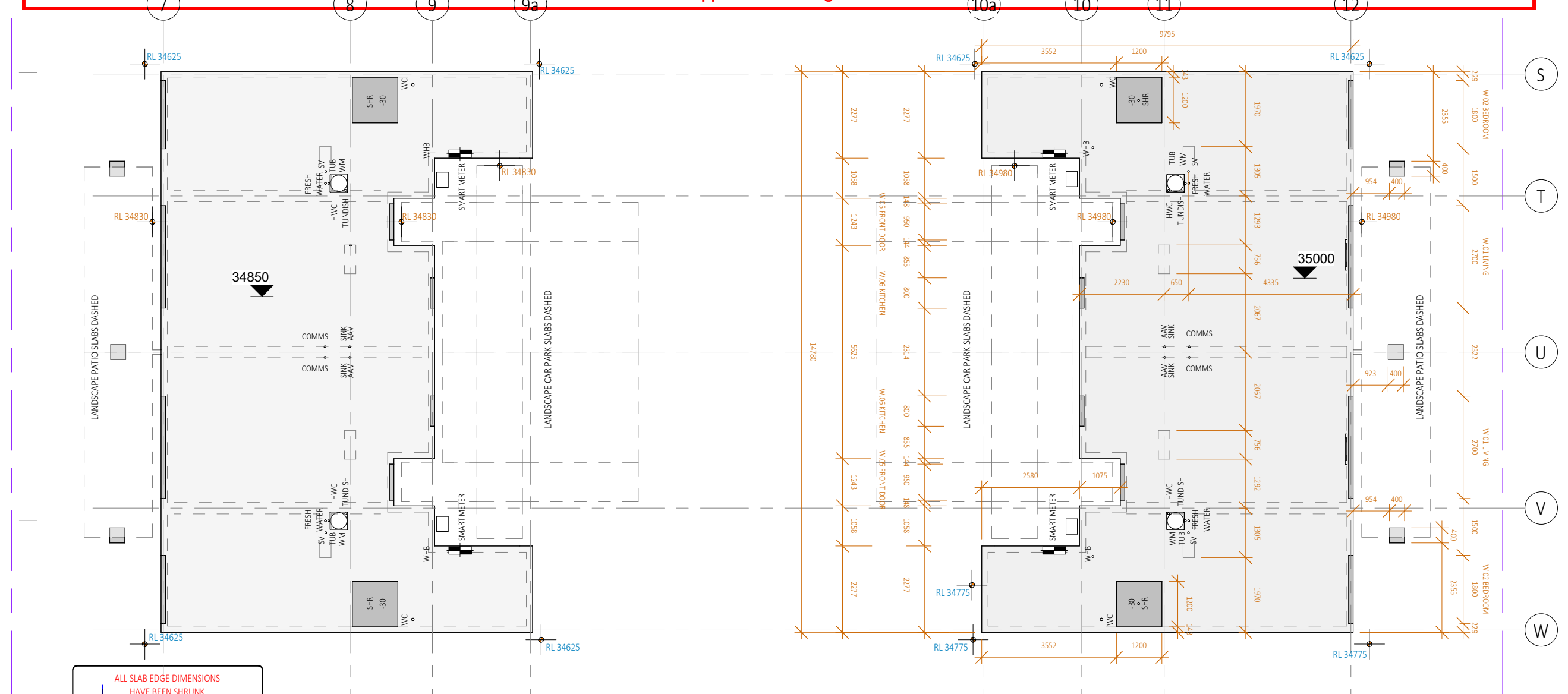
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SLAB PLAN LEGEND

- SLAB REBATES
- LANDSCAPE SLAB / PAVING
- EXISTING SITE RL
- UNPAVED RL
- PAVED RL
- LANDSCAPE SLAB RL

WINDOW REBATES 30x145

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

1 BLOCK C SLAB PLAN
1:100



- NOTES:
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SLAB PLAN C
scale on A3: As indicated

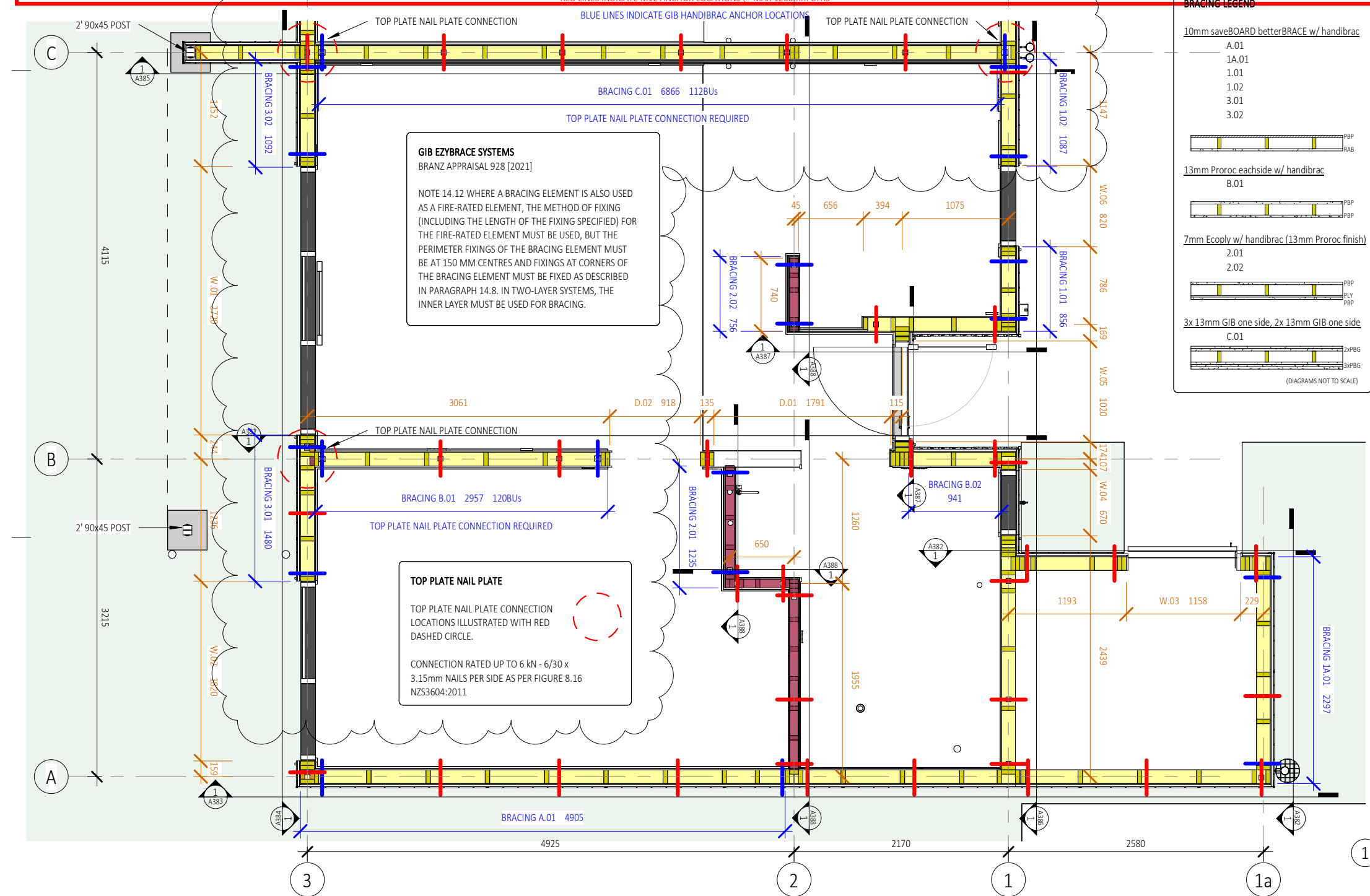
Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

A4: 71% scale reduction
if in doubt, ask north

BUILDING CONSENT 03.10.2025

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BRACING LEGEND

10mm saveBOARD betterBRACE w/ handibrac

- A.01
- 1A.01
- 1.01
- 1.02
- 3.01
- 3.02

13mm Proroc eachside w/ handibrac

- B.01

7mm Ecoply w/ handibrac (13mm Proroc finish)

- 2.01
- 2.02

3x 13mm GIB one side, 2x 13mm GIB one side

- C.01

(DIAGRAMS NOT TO SCALE)

TIMBER FRAMING LEGEND

- PACKER
- 70x45
- 90x45
- 90x90 - 2' 90x45
- 140x45
- 190x45
- 190x90 - 2' 190x 45
- 240x70 - 2' 240x45

B1: NZS3604 NOTES

LOW WIND ZONE ONLY

ROOF:
 RAFTERS, TABLE 10.1
 190x90 AT 1200 CENTRES 4.1m x 1.3
 MULTIPLIER, 5.33m MAX SPAN,
 FIXINGS TYPE F (2-90x3.15 SKEW NAILS
 +STRAP FIXING) ALTERNATIVE FIXING
 CAPACITY 7.0kN
 TOP PLATE ON AFS WALLS, M12 BOLTS

CEILING BATTENS, TABLE 13.1
 70x45(35) AT 600 CENTRES MAX
 45mm FOR INSULATION THICKNESS

WALLS:
 STUDS, TABLE 8.2
 140mm FRAMING EXTERIOR 3.6m MAX
 HEIGHT 600 CENTRES
 140mm FRAMING INTERIOR 3.6m MAX
 HEIGHT 600 CENTRES
 90mm FRAMING INTERIOR 3.6m MAX
 HEIGHT 300 CENTRES

M12 ANCHOR BOLT BOTTOM PLATE
 CONNECTION TO SLAB, 7.5.12

TOP PLATE FIXINGS 2 / 90 x 3.15 END
 NAILS, TABLE 8.18

UNLESS OTHERWISE STATED FIXINGS TO
 COMPLY WITH TABLE 8.19

1 WALL FRAMING PLAN
1:40

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND



- NOTES:
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CLIMATE ZONE: 3
 EARTHQUAKE ZONE: 3
 EXPOSURE ZONE: C
 RAINFALL RANGE: 60-70
 WIND ZONE: LOW

WALL FRAMING PLAN

scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025
2	RFI 1	16.10.2025

A4: 71% scale reduction

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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

ROOF FRAMING PLAN
scale on A3: As indicated
A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

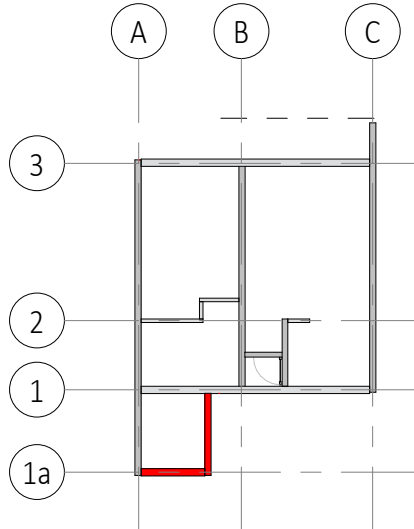
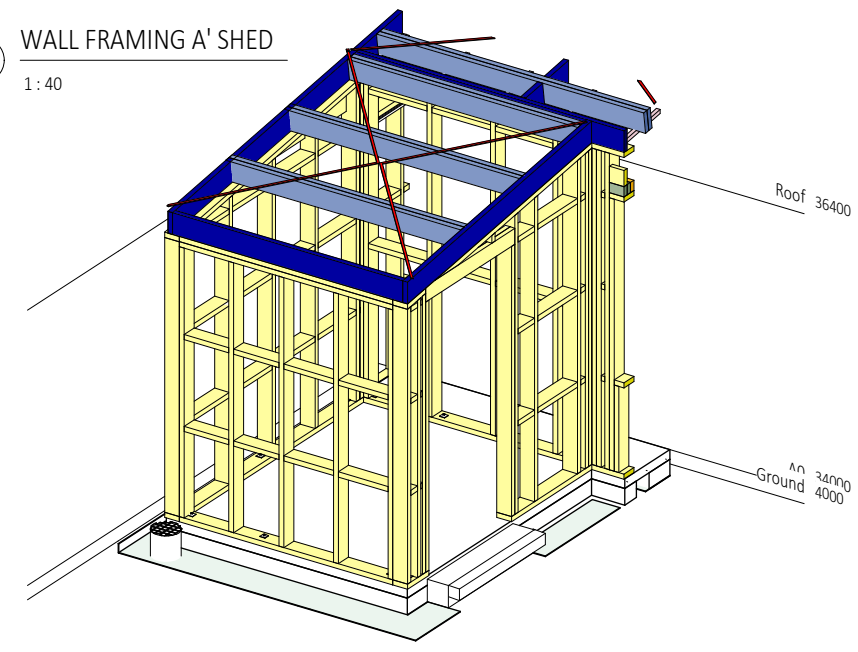
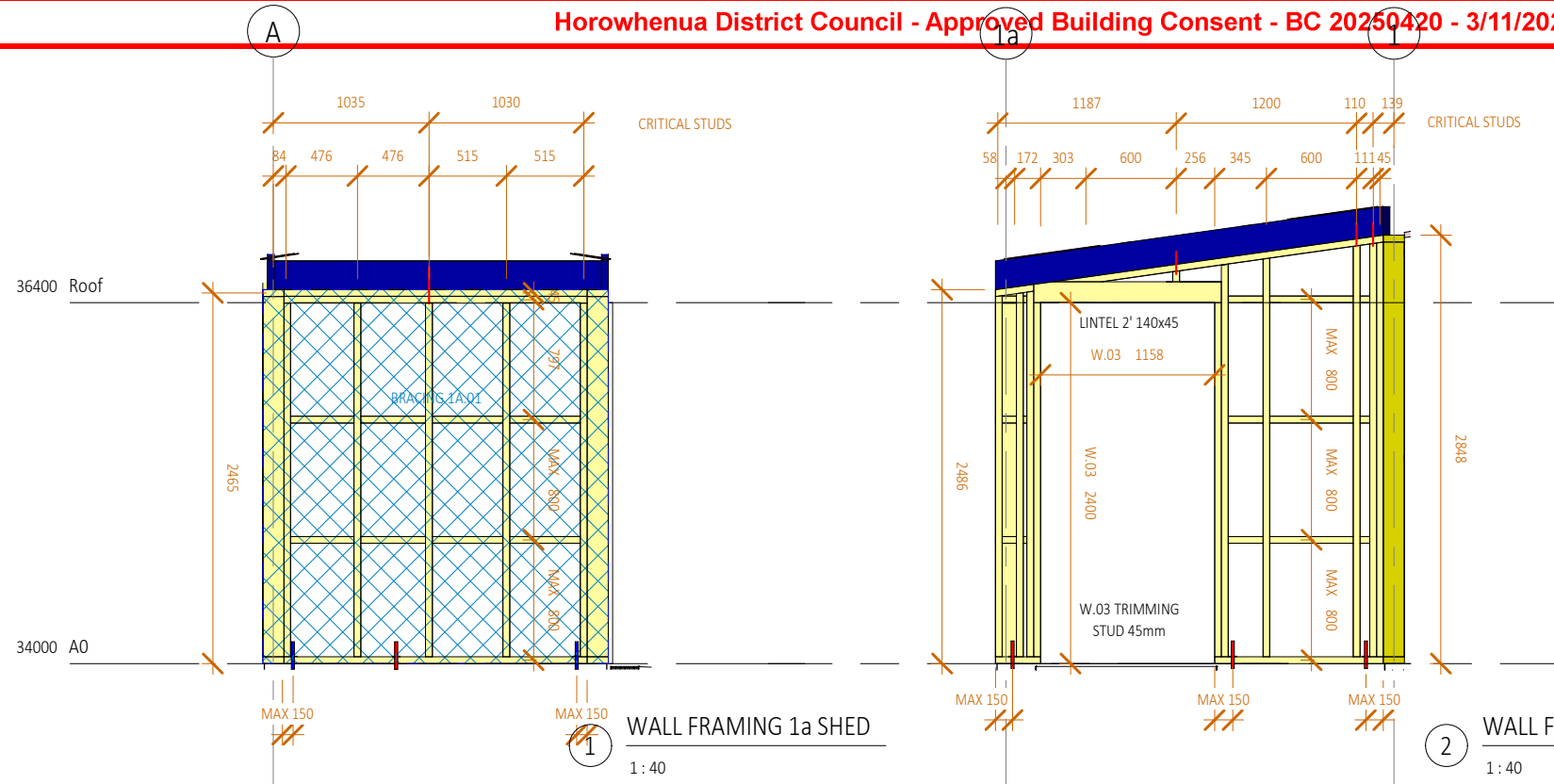
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B1: NZS3604 NOTES WALLS

WALLS:
STUDS, TABLE 8.2
140mm FRAMING EXTERIOR 3.6m MAX HEIGHT 600 CENTRES
140mm FRAMING INTERIOR 3.6m MAX HEIGHT 600 CENTRES
90mm FRAMING INTERIOR 3.6m MAX HEIGHT 300 CENTRES

M12 ANCHOR BOLT BOTTOM PLATE CONNECTION TO SLAB, 7.5.12

TOP PLATE FIXINGS 2 / 90 x 3.15 END NAILS, TABLE 8.18

UNLESS OTHERWISE STATED FIXINGS TO COMPLY WITH TABLE 8.19

TIMBER FRAMING LEGEND

PACKER
70x45
90x45
90x90 - 2' 90x45
140x45
190x45
190x90 - 2' 190x 45
240x70 - 2' 240x45

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

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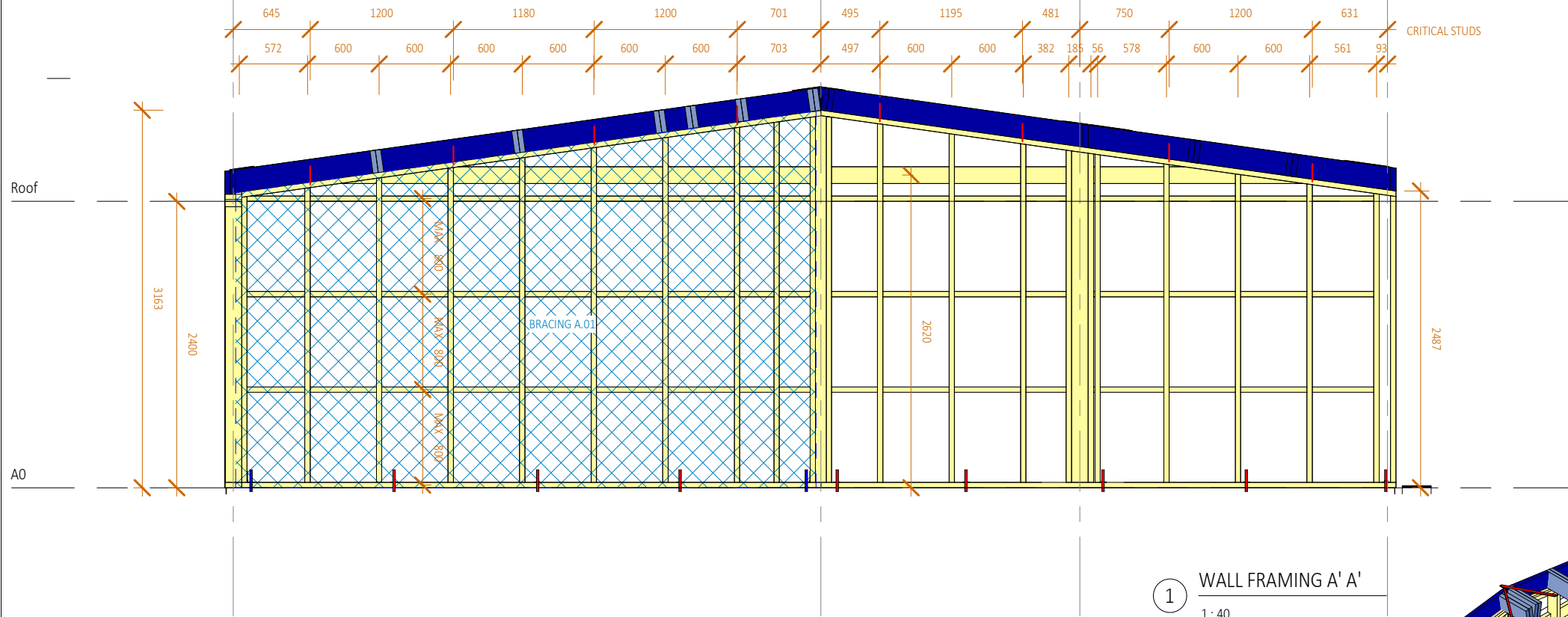
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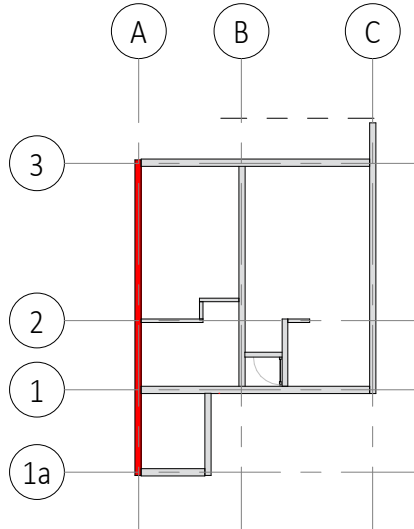
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A382

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1 WALL FRAMING A' A'
1:40



B1: NZS3604 NOTES WALLS

WALLS, TABLE 8.2
STUDS, TABLE 8.2
140mm FRAMING EXTERIOR 3.6m MAX HEIGHT 600 CENTRES
140mm FRAMING INTERIOR 3.6m MAX HEIGHT 600 CENTRES
90mm FRAMING INTERIOR 3.6m MAX HEIGHT 300 CENTRES

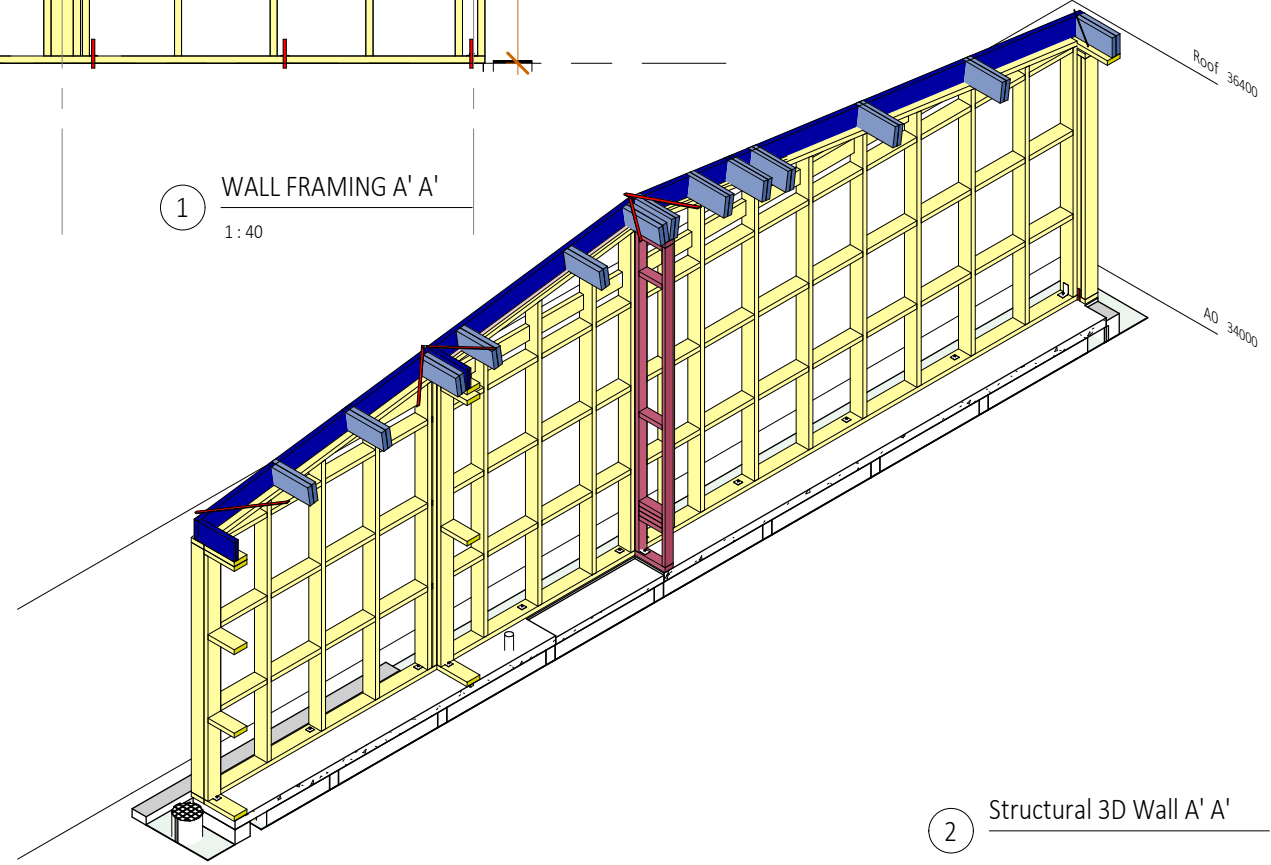
M12 ANCHOR BOLT BOTTOM PLATE CONNECTION TO SLAB, 7.5.12

TOP PLATE FIXINGS 2 / 90 x 3.15 END NAILS, TABLE 8.18

UNLESS OTHERWISE STATED FIXINGS TO COMPLY WITH TABLE 8.19

TIMBER FRAMING LEGEND

Yellow	PACKER
Pink	70x45
Red	90x45
Green	90x90 - 2' 90x45
Light Blue	140x45
Dark Blue	190x45
Light Purple	190x90 - 2' 190x 45
Dark Purple	240x70 - 2' 240x45



2 Structural 3D Wall A' A'

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

WALL FRAMING A' A'

scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask

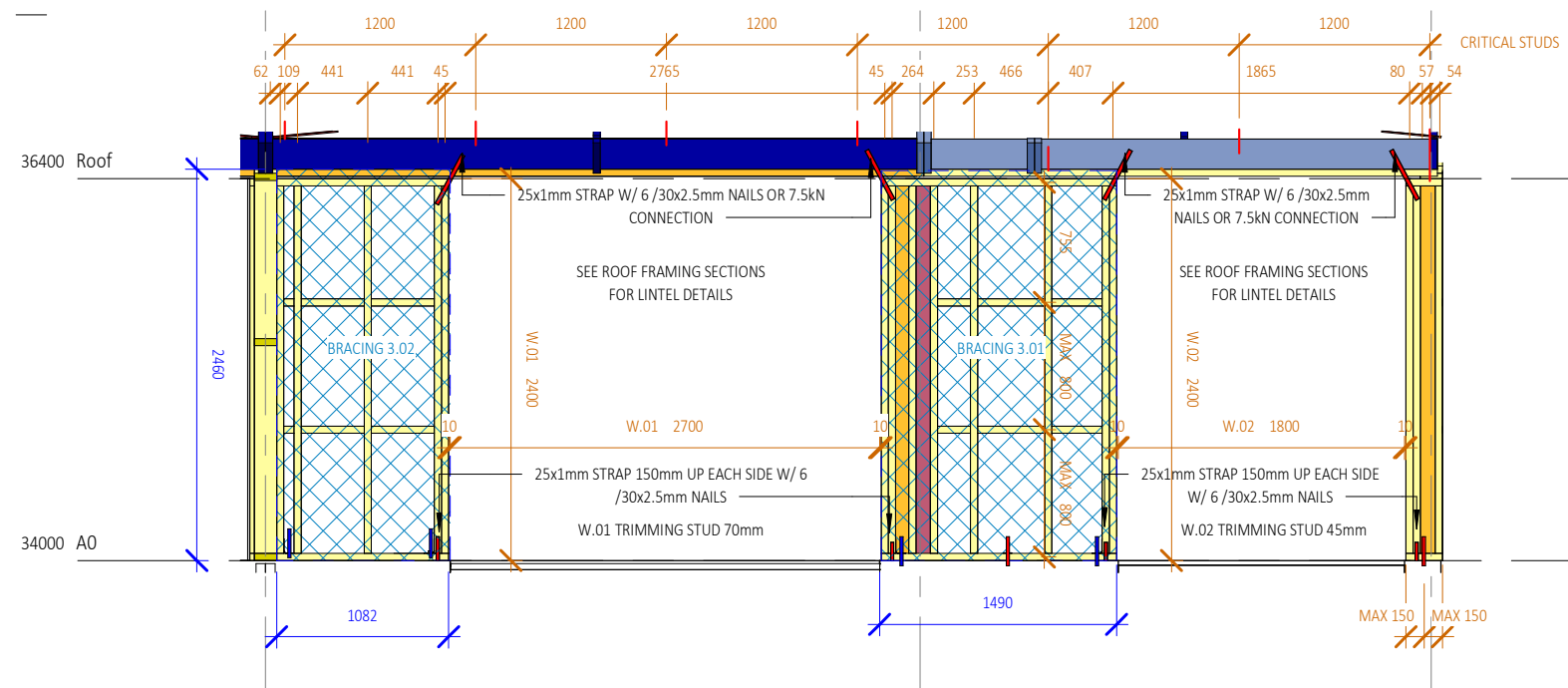
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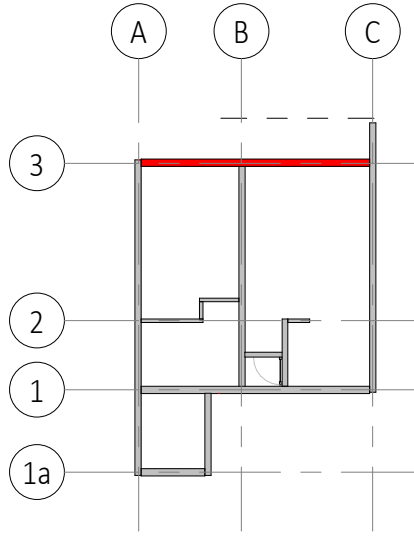
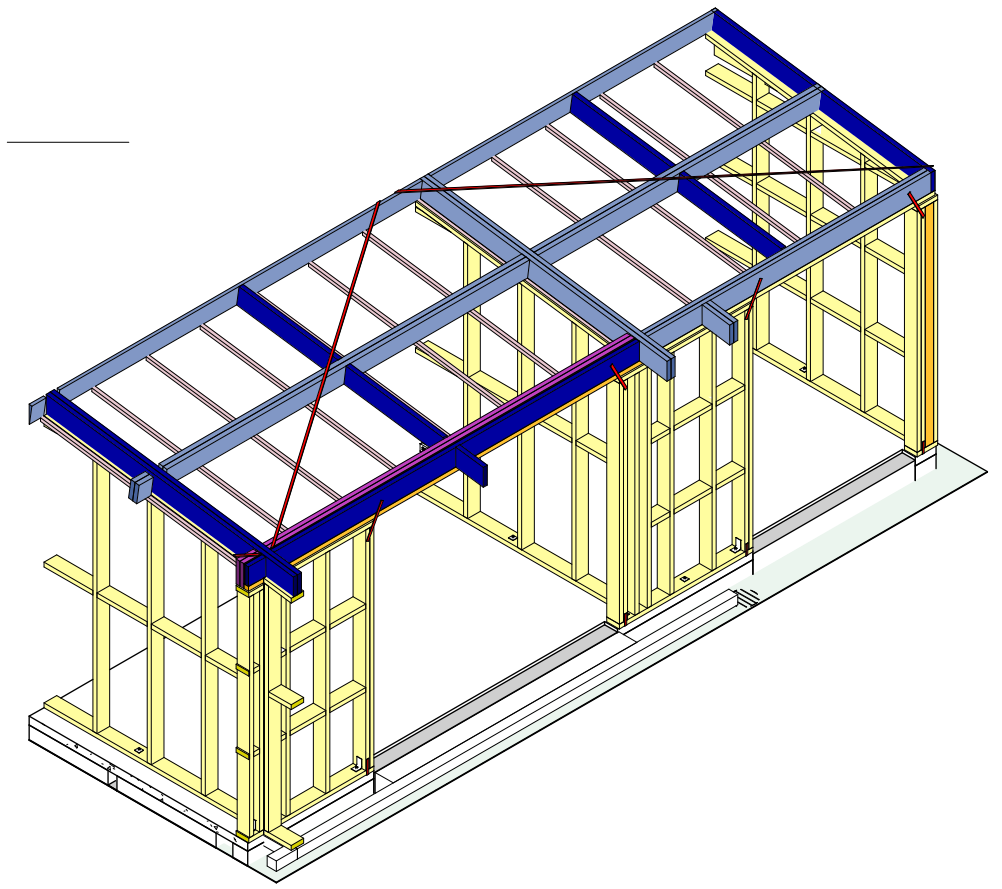
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1 WALL FRAMING 3' 3'
1:40



B1: NZS3604 NOTES WALLS

WALLS:
STUDS, TABLE 8.2
140mm FRAMING EXTERIOR 3.6m MAX HEIGHT 600 CENTRES
140mm FRAMING INTERIOR 3.6m MAX HEIGHT 600 CENTRES
90mm FRAMING INTERIOR 3.6m MAX HEIGHT 300 CENTRES

M12 ANCHOR BOLT BOTTOM PLATE CONNECTION TO SLAB, 7.5.12

TOP PLATE FIXINGS 2 / 90 x 3.15 END NAILS, TABLE 8.18

UNLESS OTHERWISE STATED FIXINGS TO COMPLY WITH TABLE 8.19

TIMBER FRAMING LEGEND

PACKER
70x45
90x45
90x90 - 2' 90x45
140x45
190x45
190x90 - 2' 190x 45
240x70 - 2' 240x45

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

WALL FRAMING 3' - 3'

scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

A4: 71% scale reduction

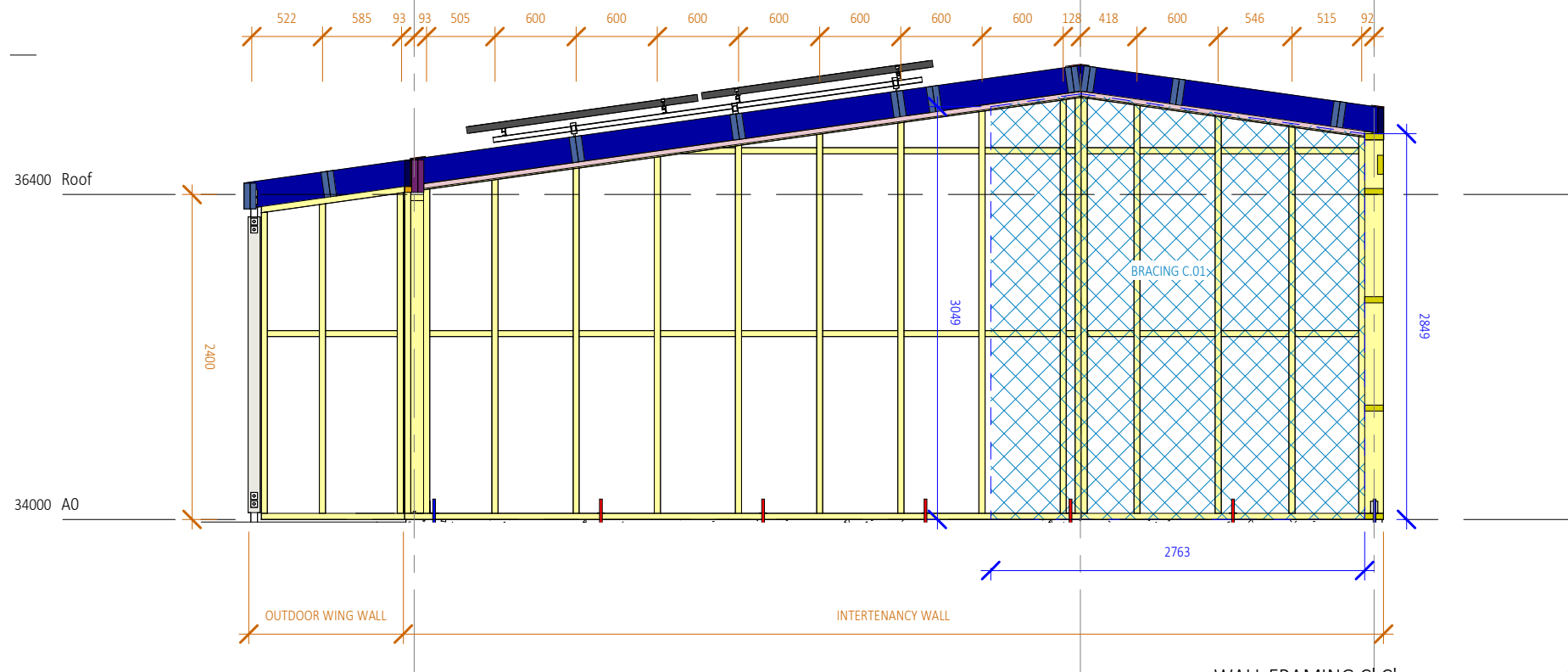
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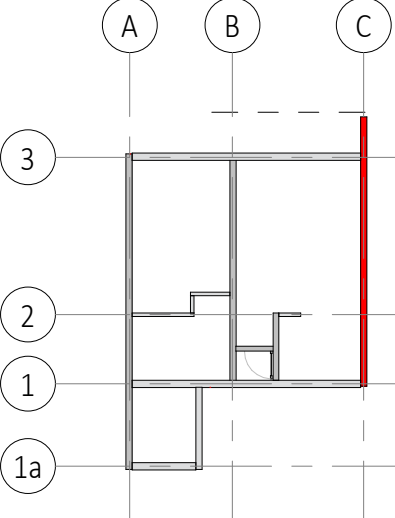
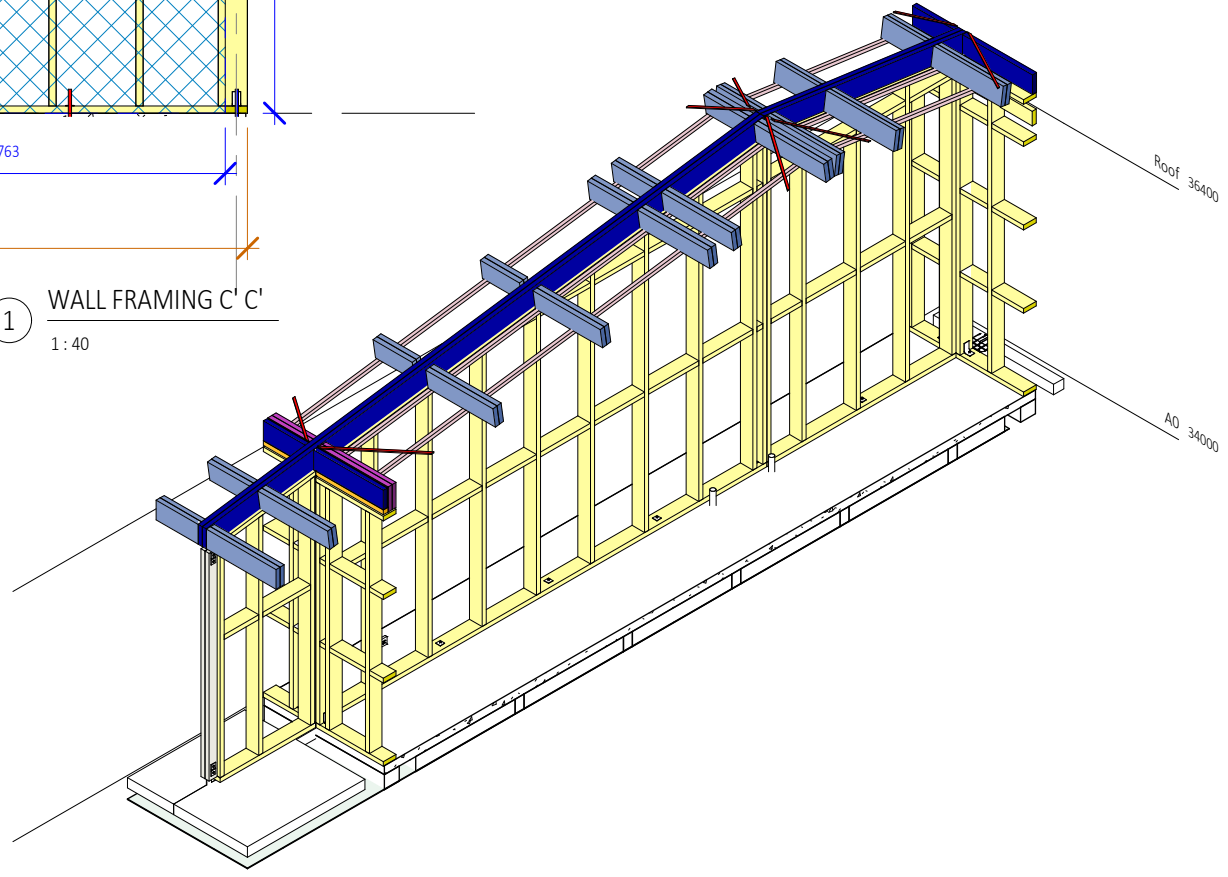
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1 WALL FRAMING C' C'
1:40



B1: NZS3604 NOTES WALLS

WALLS: TABLE 8.2
STUDS, TABLE 8.2
140mm FRAMING EXTERIOR 3.6m MAX HEIGHT 600 CENTRES
140mm FRAMING INTERIOR 3.6m MAX HEIGHT 600 CENTRES
90mm FRAMING INTERIOR 3.6m MAX HEIGHT 300 CENTRES

M12 ANCHOR BOLT BOTTOM PLATE CONNECTION TO SLAB, 7.5.12

TOP PLATE FIXINGS 2 / 90 x 3.15 END NAILS, TABLE 8.18

UNLESS OTHERWISE STATED FIXINGS TO COMPLY WITH TABLE 8.19

TIMBER FRAMING LEGEND

	PACKER
	70x45
	90x45
	90x90 - 2' 90x45
	140x45
	190x45
	190x90 - 2' 190x45
	240x70 - 2' 240x45

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

WALL FRAMING C' C'

scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask

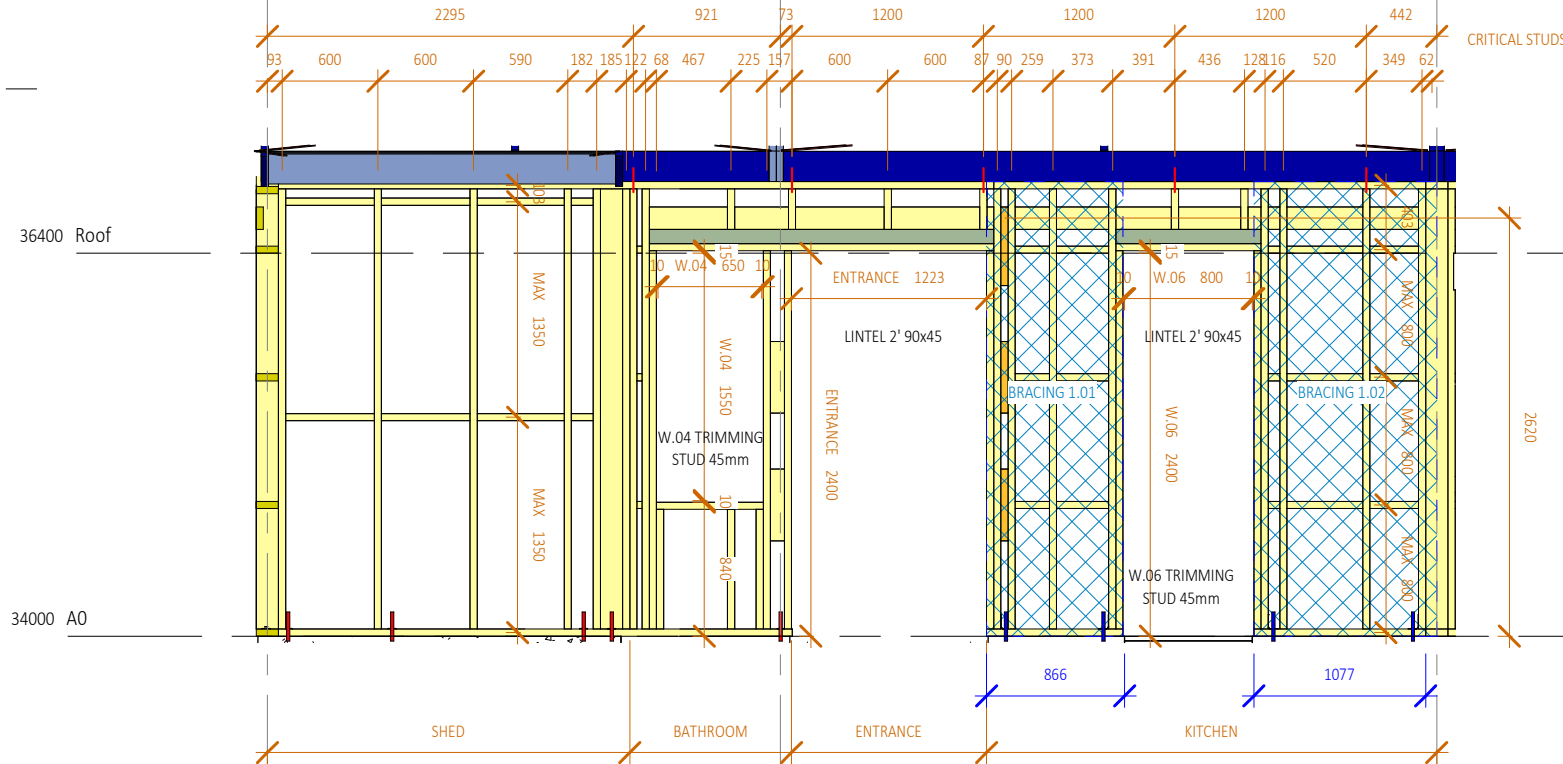
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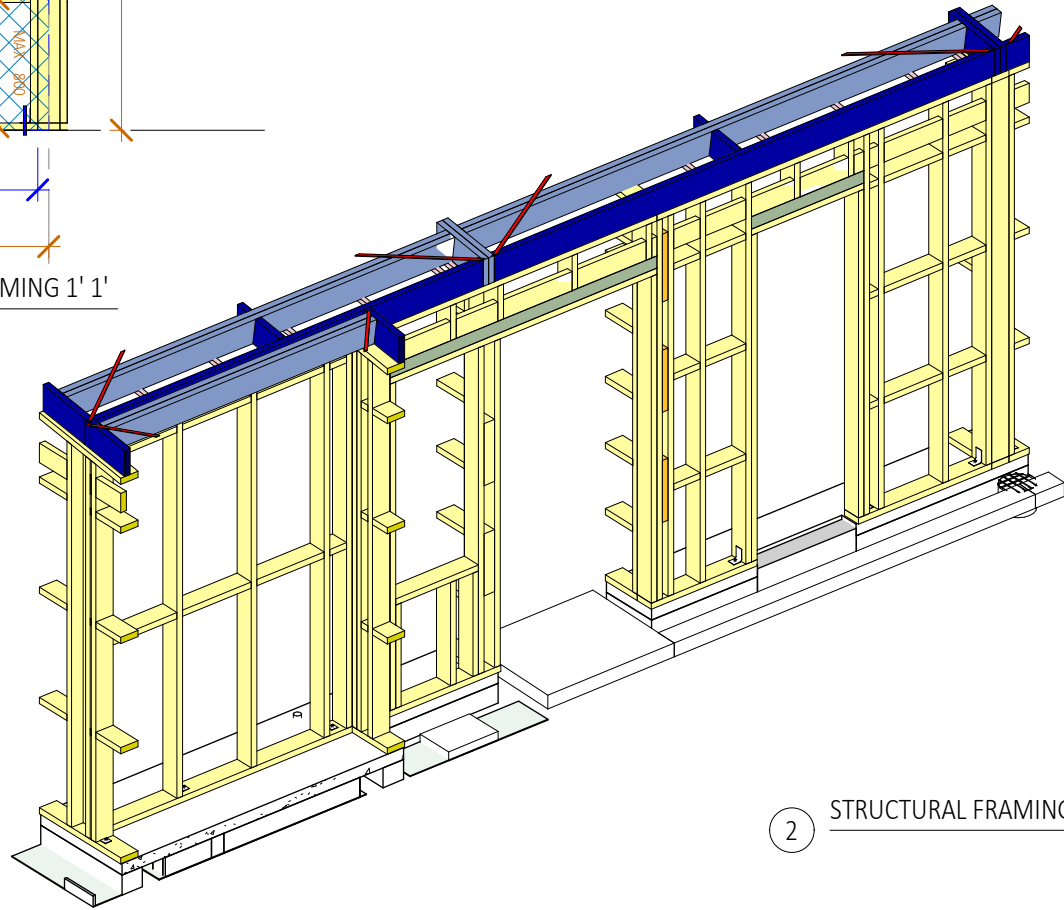
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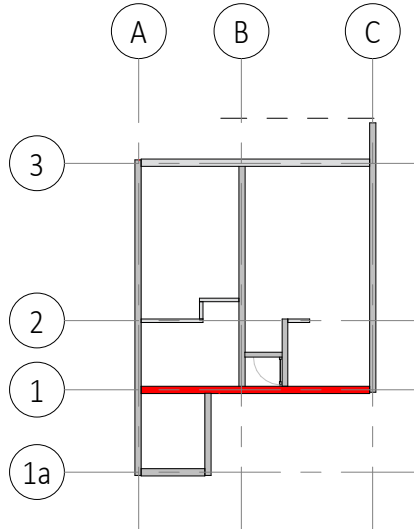
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1 WALL FRAMING 1' 1'
1:40



2 STRUCTURAL FRAMING 1' 1'



B1: NZS3604 NOTES WALLS

WALLS:
STUDS, TABLE 8.2
140mm FRAMING EXTERIOR 3.6m MAX HEIGHT 600 CENTRES
140mm FRAMING INTERIOR 3.6m MAX HEIGHT 600 CENTRES
90mm FRAMING INTERIOR 3.6m MAX HEIGHT 300 CENTRES

M12 ANCHOR BOLT BOTTOM PLATE CONNECTION TO SLAB, 7.5.12

TOP PLATE FIXINGS 2 / 90 x 3.15 END NAILS, TABLE 8.18

UNLESS OTHERWISE STATED FIXINGS TO COMPLY WITH TABLE 8.19

TIMBER FRAMING LEGEND

PACKER
70x45
90x45
90x90 - 2' 90x45
140x45
190x45
190x90 - 2' 190x 45
240x70 - 2' 240x45

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

WALL FRAMING 1' 1'

scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

A4: 71% scale reduction

if in doubt, ask

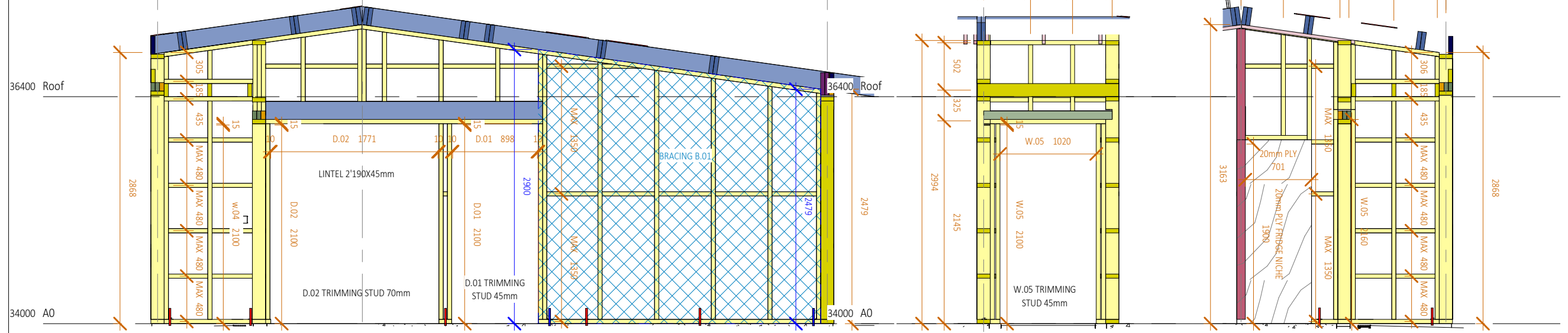
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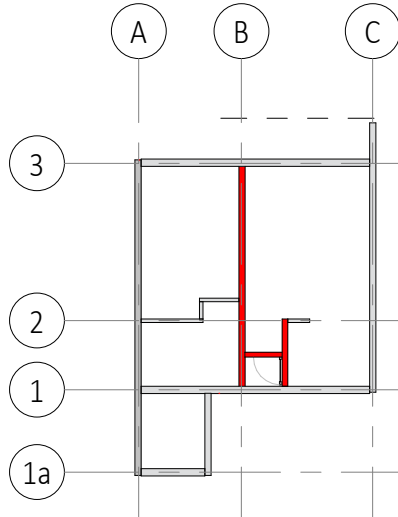
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1 WALL FRAMING B' B'
1:40

2 WALL FRAMING ENTRANCE
1:40

3 WALL FRAMING B' B'1
1:40



B1: NZS3604 NOTES WALLS

WALLS:
STUDS, TABLE 8.2
140mm FRAMING EXTERIOR 3.6m MAX HEIGHT 600 CENTRES
140mm FRAMING INTERIOR 3.6m MAX HEIGHT 600 CENTRES
90mm FRAMING INTERIOR 3.6m MAX HEIGHT 300 CENTRES

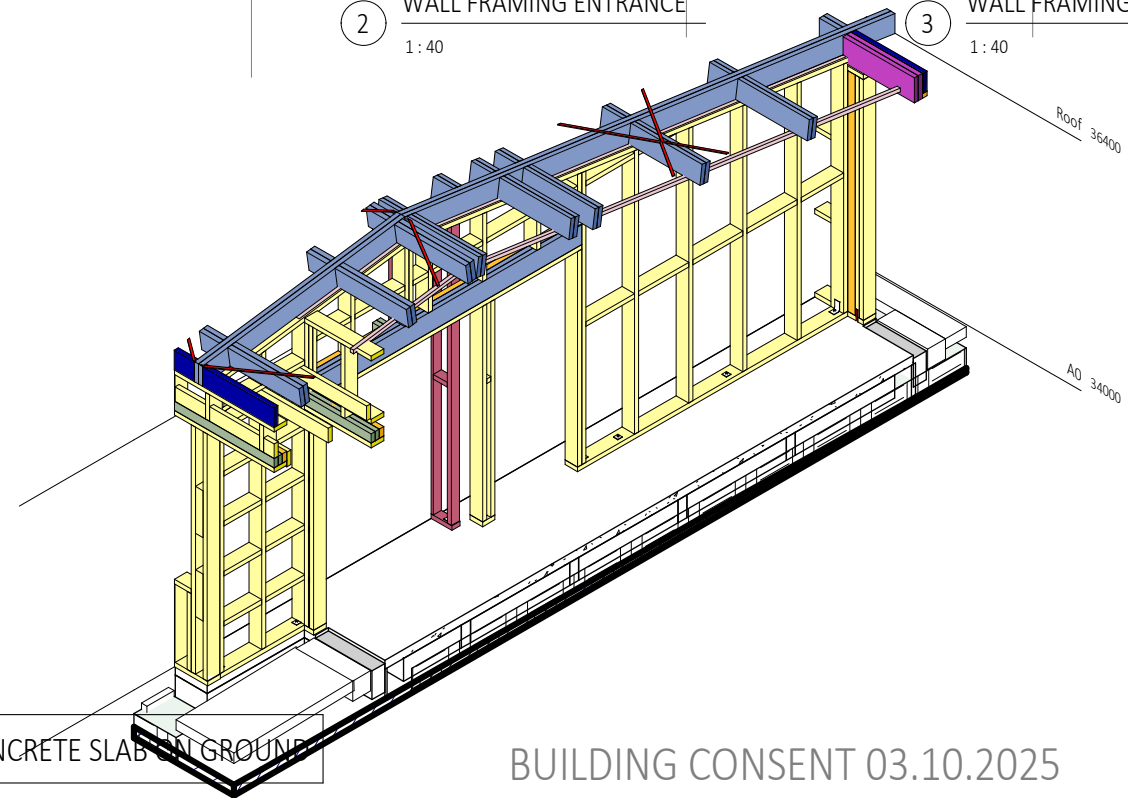
M12 ANCHOR BOLT BOTTOM PLATE CONNECTION TO SLAB, 7.5.12

TOP PLATE FIXINGS 2 / 90 x 3.15 END NAILS, TABLE 8.18

UNLESS OTHERWISE STATED FIXINGS TO COMPLY WITH TABLE 8.19

TIMBER FRAMING LEGEND

Yellow	PACKER
Pink	70x45
Red	90x45
Green	90x90 - 2' 90x45
Light Blue	140x45
Dark Blue	190x45
Blue	190x90 - 2' 190x 45
Purple	240x70 - 2' 240x45



REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
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 2. DO NOT SCALE FROM DRAWINGS. DIMENSIONS GOVERN.
 3. ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS OTHERWISE NOTED.
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

WALL FRAMING B' B'

scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

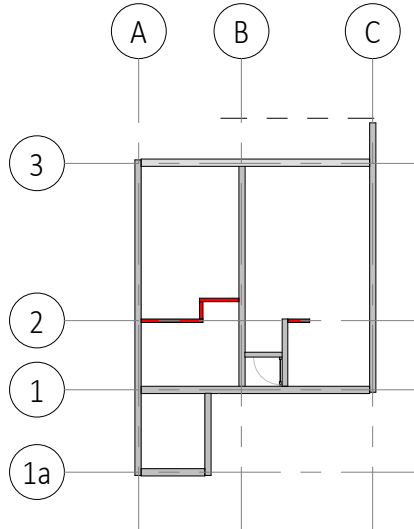
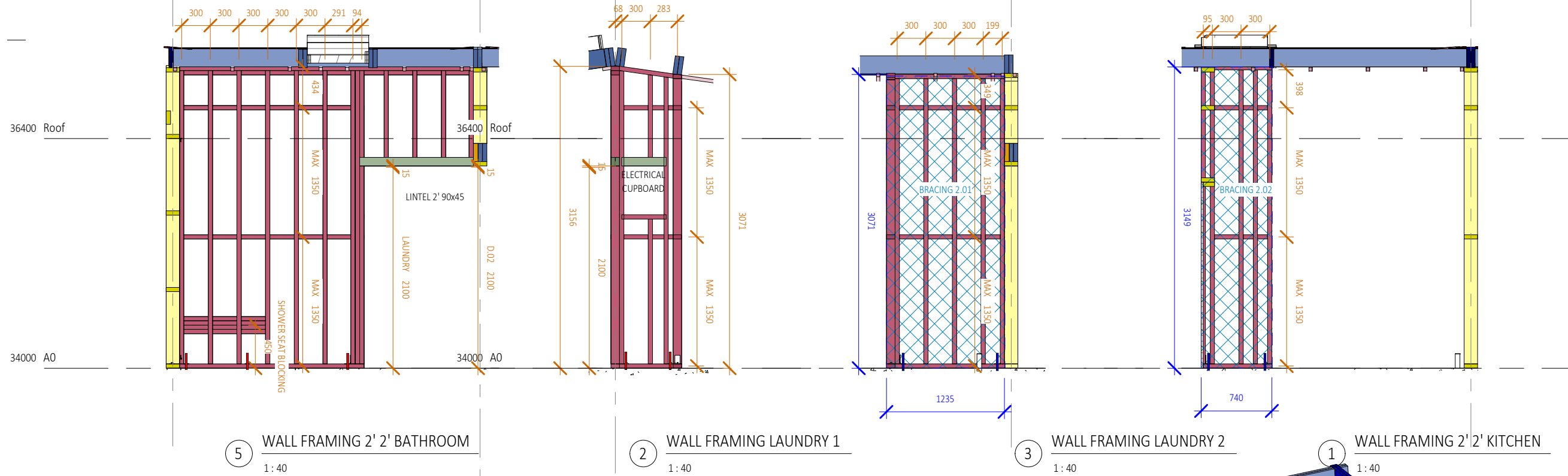
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B1: NZS3604 NOTES WALLS

WALLS:
STUDS, TABLE 8.2
140mm FRAMING EXTERIOR 3.6m MAX HEIGHT 600 CENTRES
140mm FRAMING INTERIOR 3.6m MAX HEIGHT 600 CENTRES
90mm FRAMING INTERIOR 3.6m MAX HEIGHT 300 CENTRES

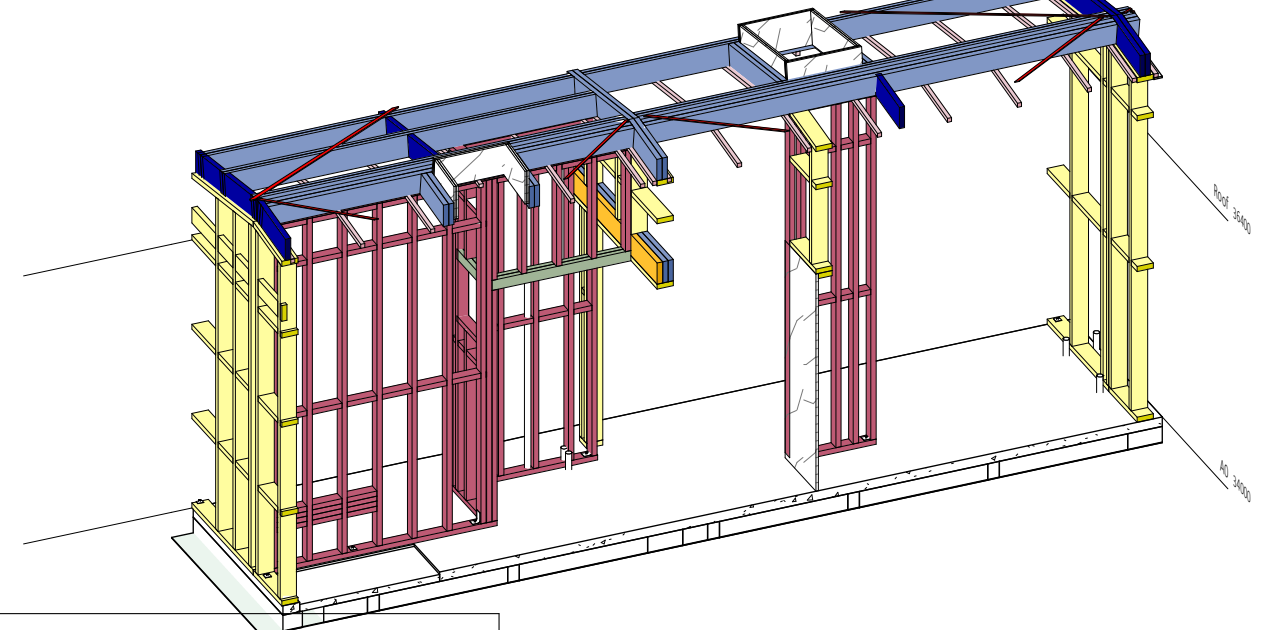
M12 ANCHOR BOLT BOTTOM PLATE CONNECTION TO SLAB, 7.5.12

TOP PLATE FIXINGS 2 / 90 x 3.15 END NAILS, TABLE 8.18

UNLESS OTHERWISE STATED FIXINGS TO COMPLY WITH TABLE 8.19

TIMBER FRAMING LEGEND

Yellow	PACKER
Light Green	70x45
Red	90x45
Dark Green	90x90 - 2' 90x45
Light Blue	140x45
Dark Blue	190x45
Blue	190x90 - 2' 190x 45
Purple	240x70 - 2' 240x45



REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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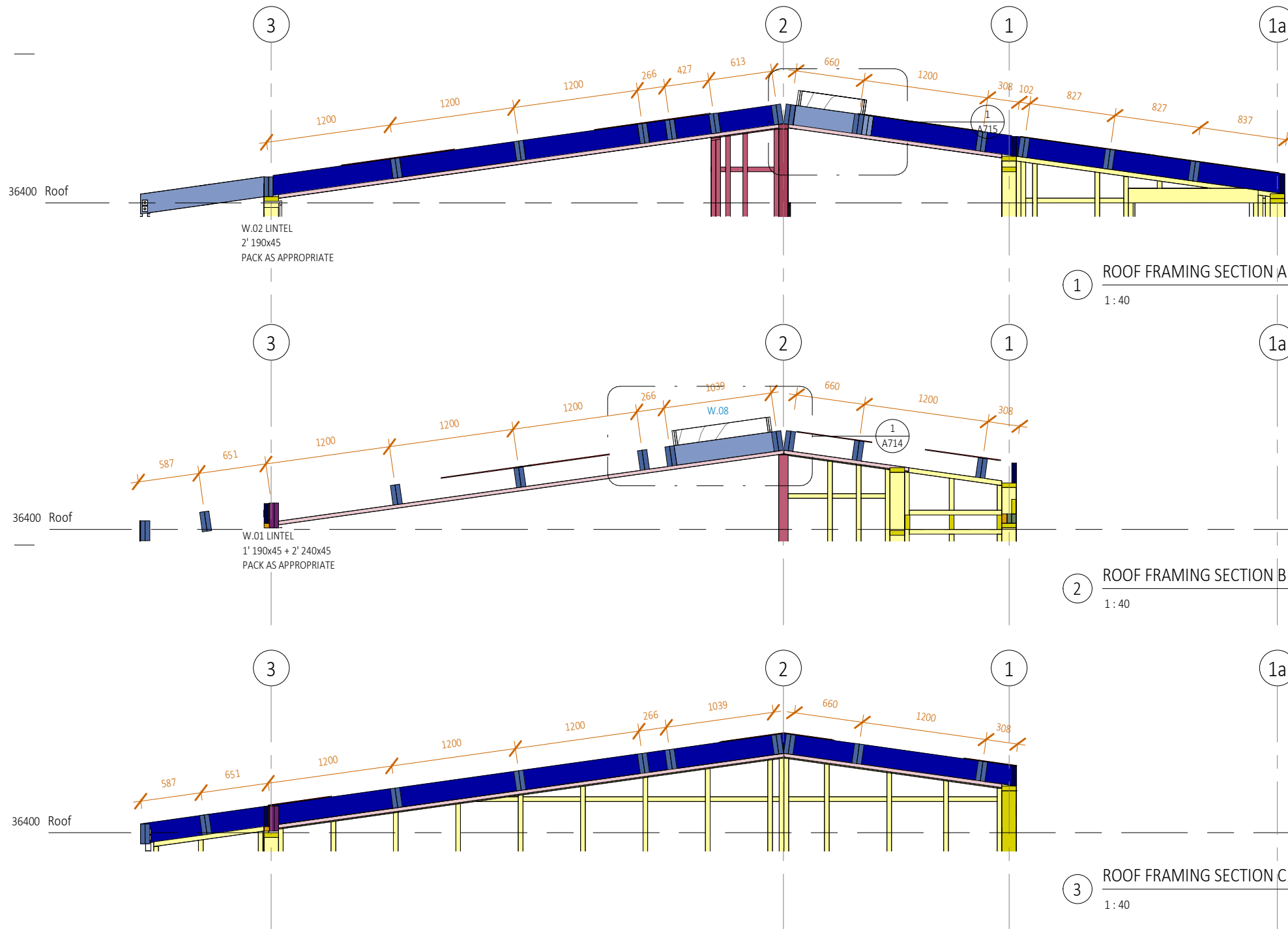
CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

scale on A3: As indicated
A4: 71% scale reduction
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WALL FRAMING 2' 2'
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TIMBER FRAMING LEGEND

PACKER
70x45
90x45
90x90 - 2' 90x45
140x45
190x45
190x90 - 2' 190x 45
240x70 - 2' 240x45

B1: NZS3604 NOTES

LOW WIND ZONE ONLY

ROOF:
 RAFTERS, TABLE 10.1
 190x90 AT 1200 CENTRES 4.1m x 1.3
 MULTIPLIER, 5.33m MAX SPAN,
 FIXINGS TYPE F (2-90x3.15Ø SKEW NAILS
 +STRAP FIXING) ALTERNATIVE FIXING
 CAPACITY 7.0kN
 TOP PLATE ON AFS WALLS, M12 BOLTS

CEILING BATTENS, TABLE 13.1
 70x45(35) AT 600 CENTRES MAX
 45mm FOR INSULATION THICKNESS

WALLS:
 STUDS, TABLE 8.2
 140mm FRAMING EXTERIOR 3.6m MAX
 HEIGHT 600 CENTRES
 140mm FRAMING INTERIOR 3.6m MAX
 HEIGHT 600 CENTRES
 90mm FRAMING INTERIOR 3.6m MAX
 HEIGHT 300 CENTRES

M12 ANCHOR BOLT BOTTOM PLATE
 CONNECTION TO SLAB, 7.5.12

TOP PLATE FIXINGS 2 / 90 x 3.15 END
 NAILS, TABLE 8.18

UNLESS OTHERWISE STATED FIXINGS TO
 COMPLY WITH TABLE 8.19

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
 EARTHQUAKE ZONE: 3
 EXPOSURE ZONE: C
 RAINFALL RANGE: 60-70
 WIND ZONE: LOW

ROOF FRAMING SECTIONS

scale on A3: As indicated A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

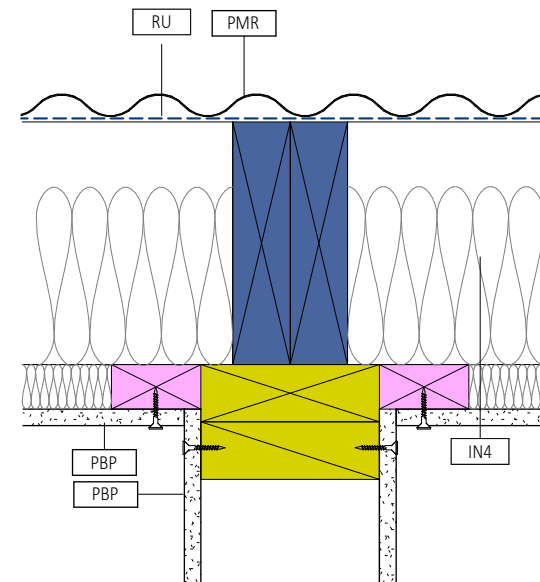
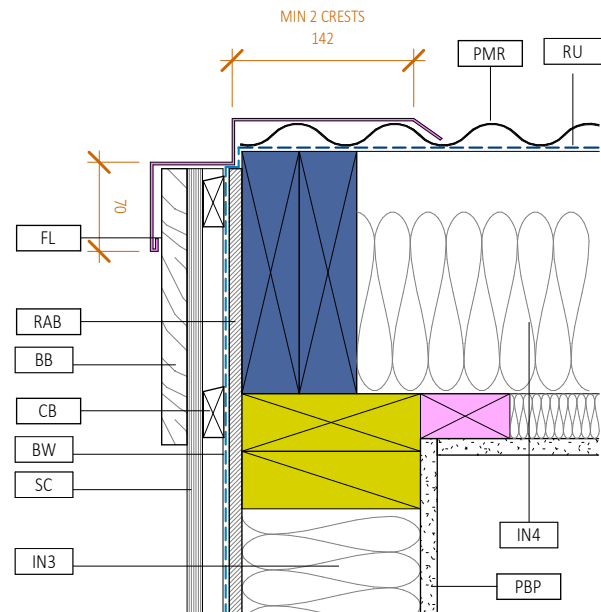
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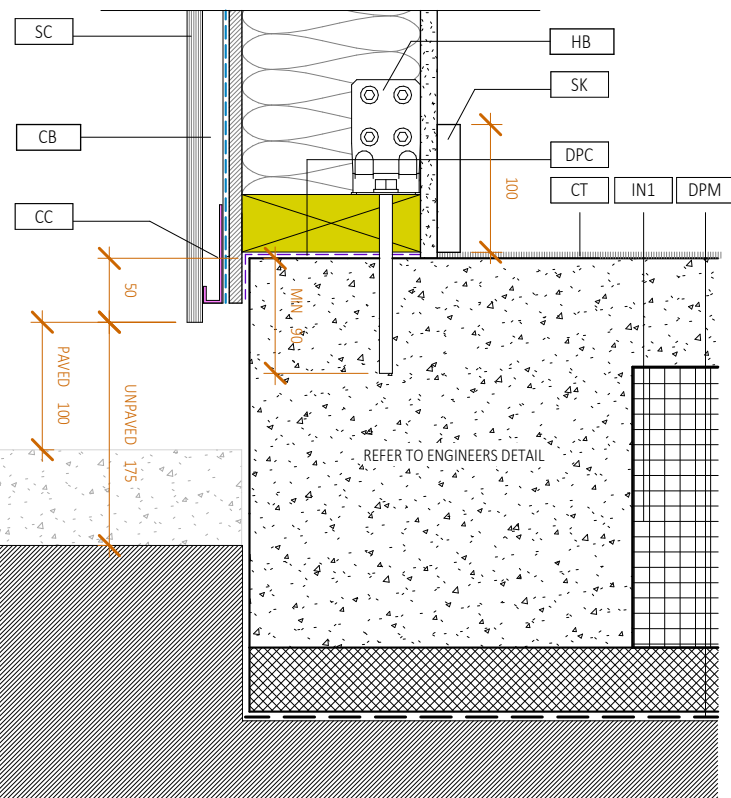
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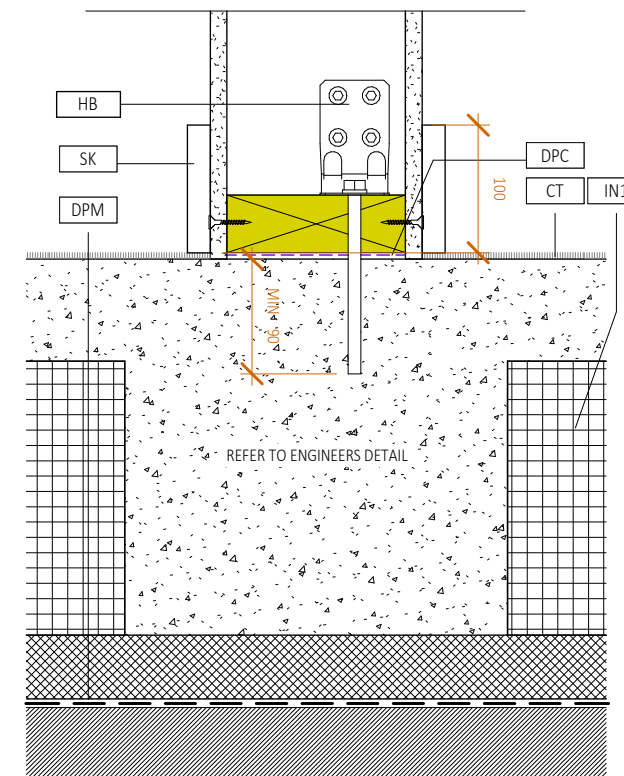
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A389



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① 140 FRAME EXTERIOR
1:5



② 140 FRAME BEDROOM / LIVING
1:5

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REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

scale on A3: 1:5
A4: 71% scale reduction
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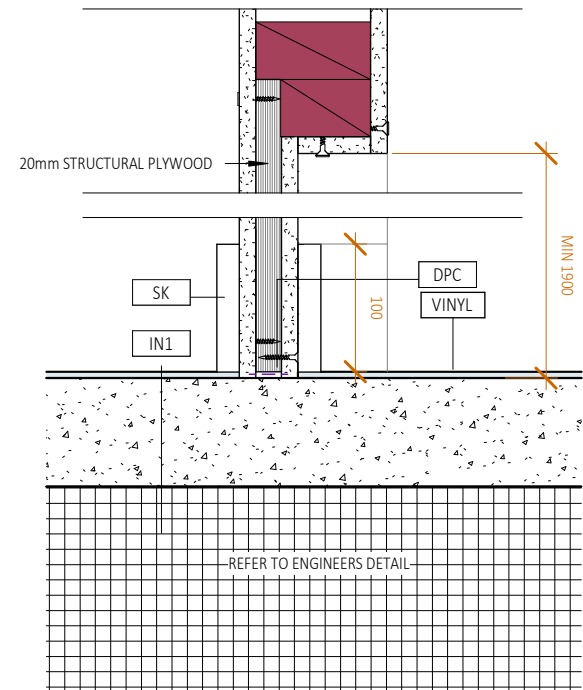
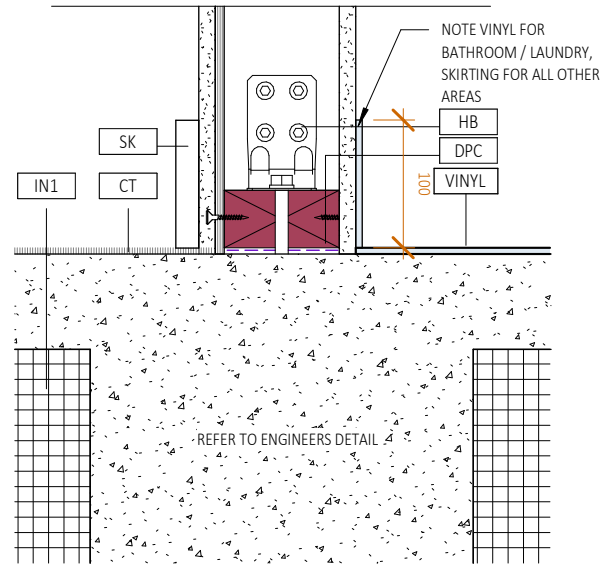
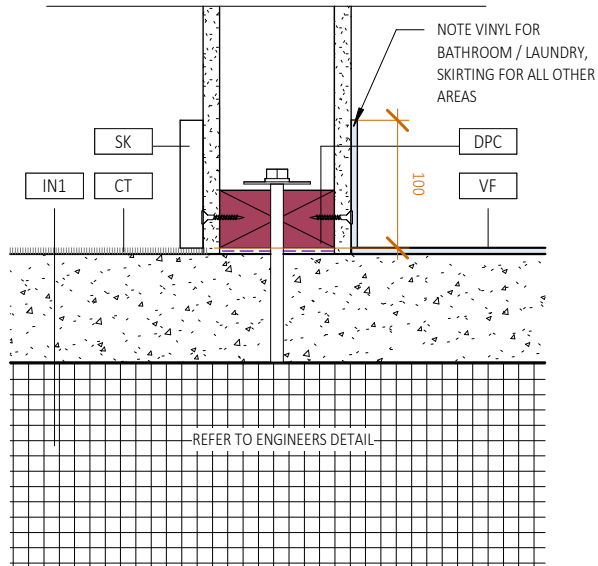
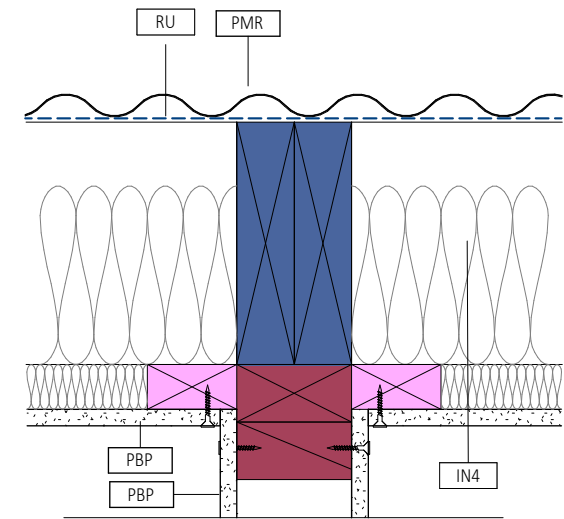
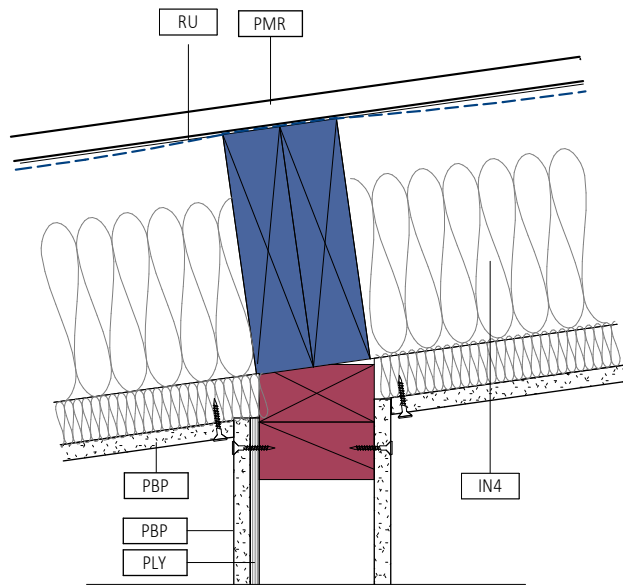
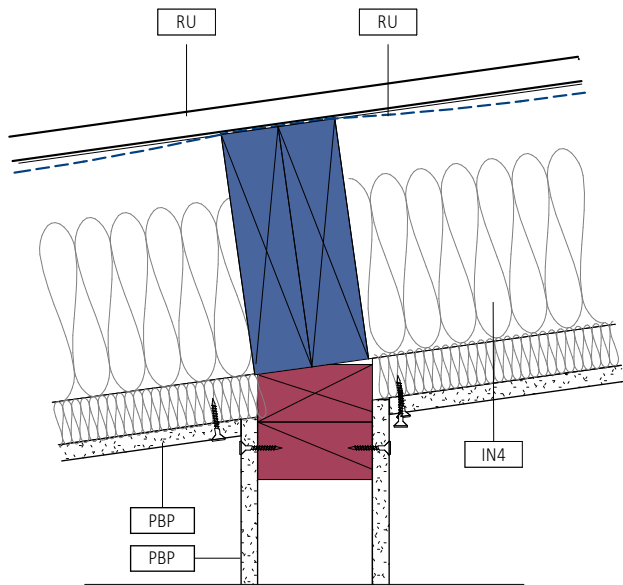
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① 90 FRAME NOT BRACED
1:5

② 90 FRAME BRACED
1:5

③ 90 FRAME FRIDGE PLY
1:5

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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Rev	Description	Date
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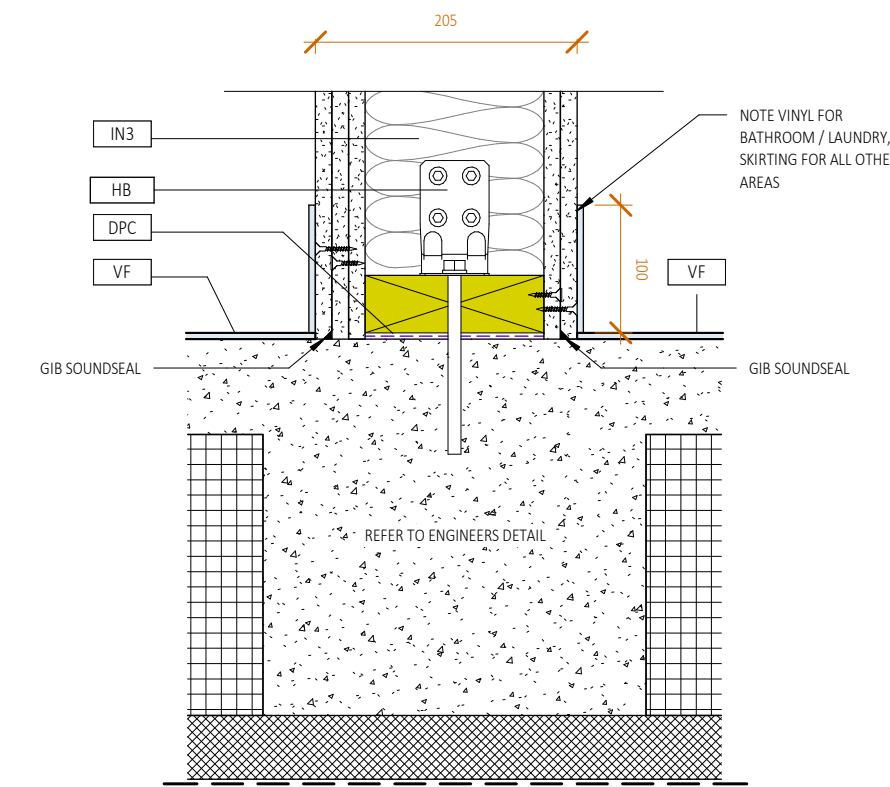
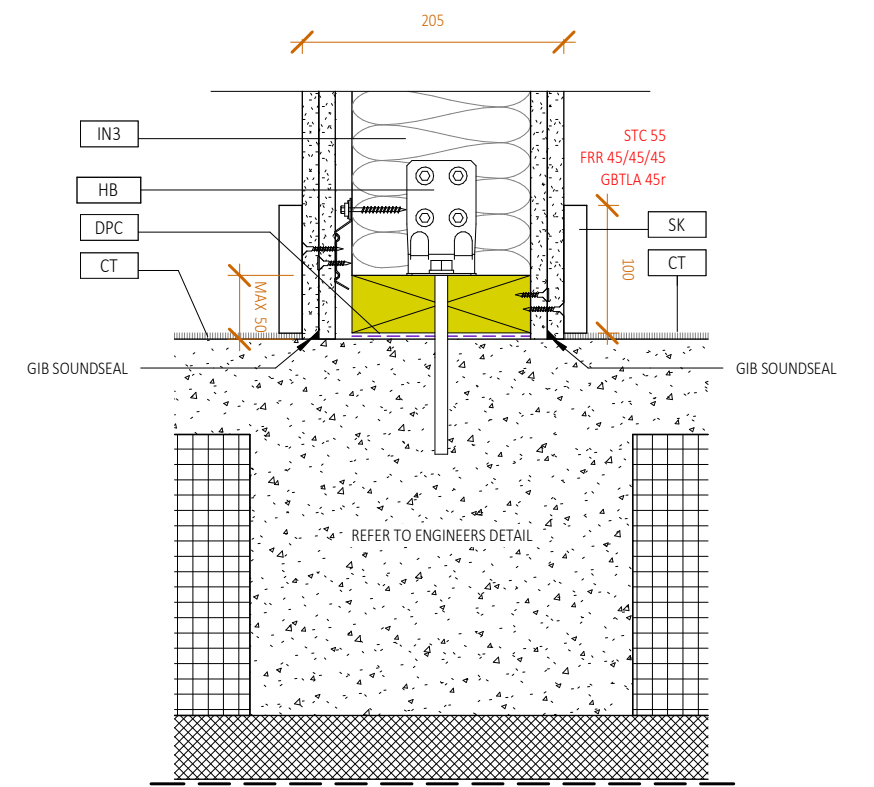
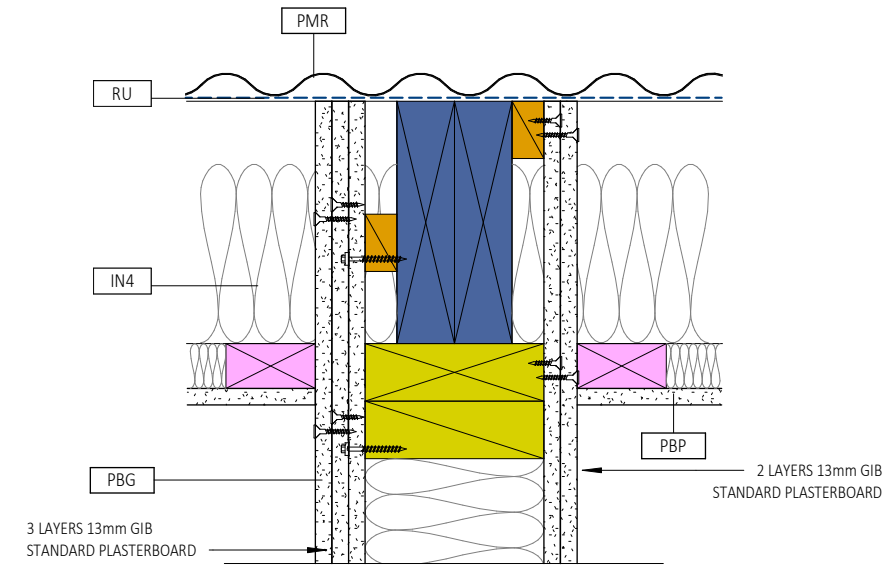
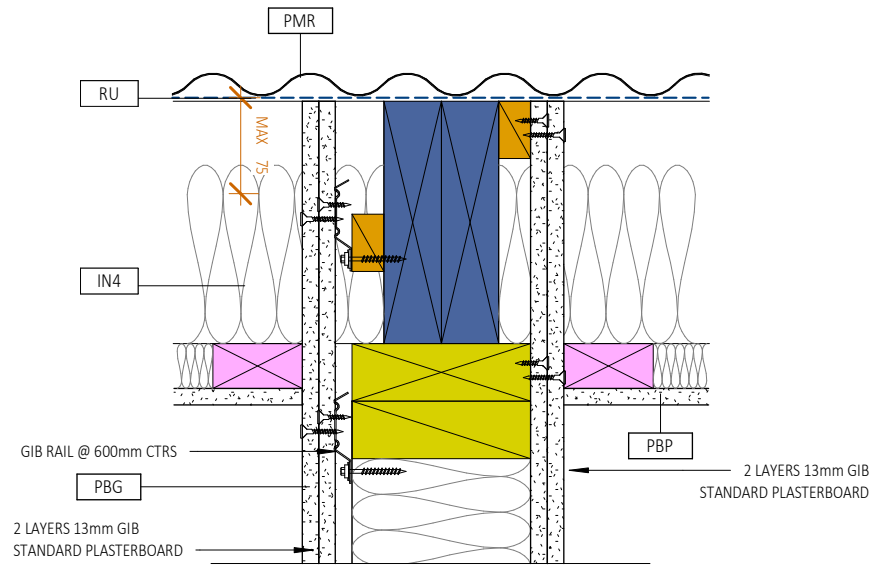
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WALL BUILD UPS 90
scale on A3: 1:5
A4: 71% scale reduction

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① ACOUSTIC WALL 1 - 140 FRAME GIB RAIL
1:5

② ACOUSTIC WALL 2 - 140 FRAME 3 LAYER GIB
1:5

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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TENANCY WALL BUILD UPS

scale on A3: 1:5 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

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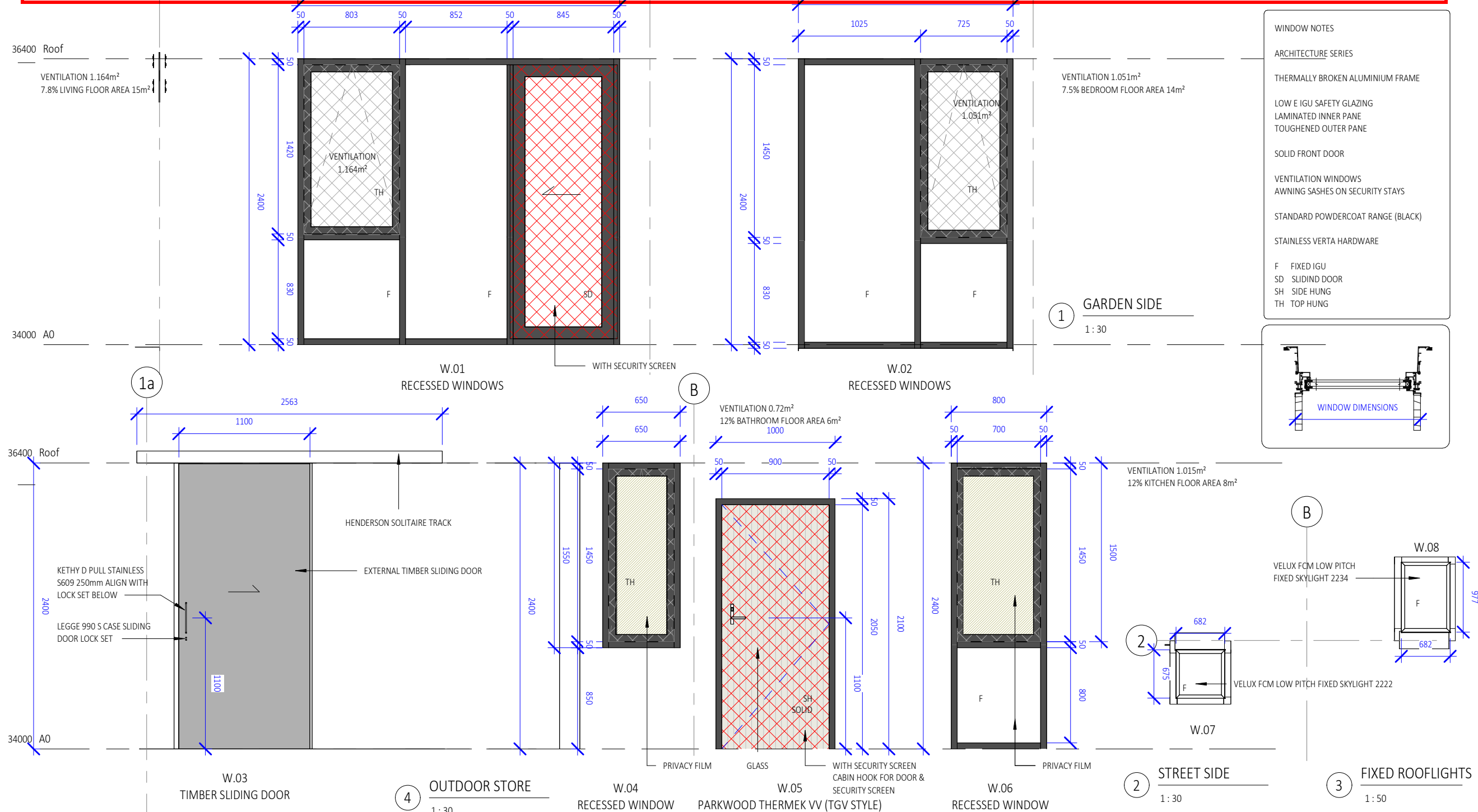
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REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

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WINDOW SCHEDULE

scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

A4: 71% scale reduction

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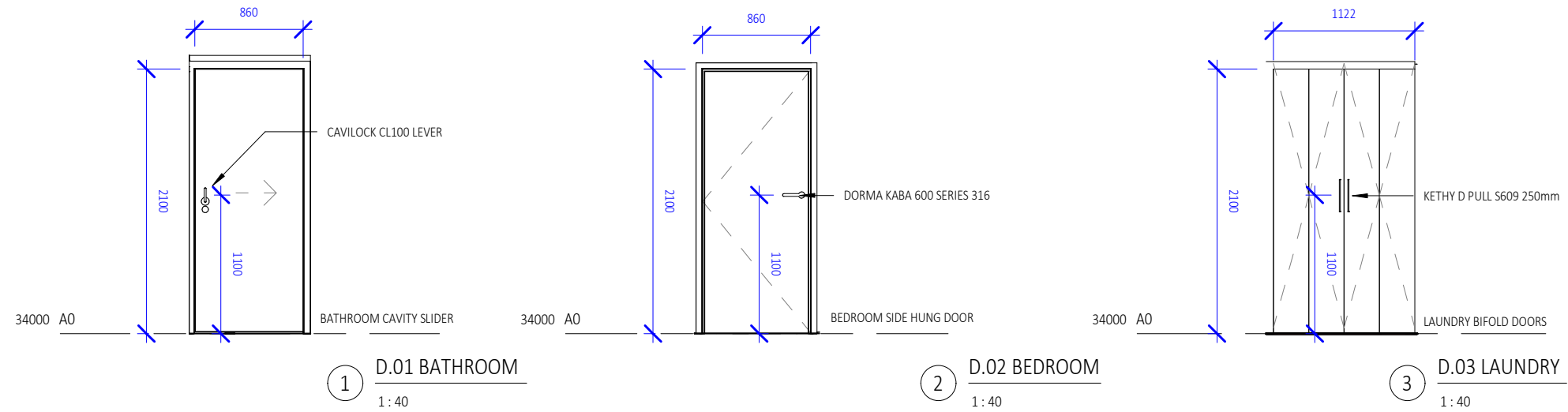
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ALL DOOR CLEAR OPENINGS MIN 700 AS PERS NZS 4121 FIGURE 20

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

DOOR SCHEDULE

scale on A3: 1:40

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask

A4: 71% scale reduction

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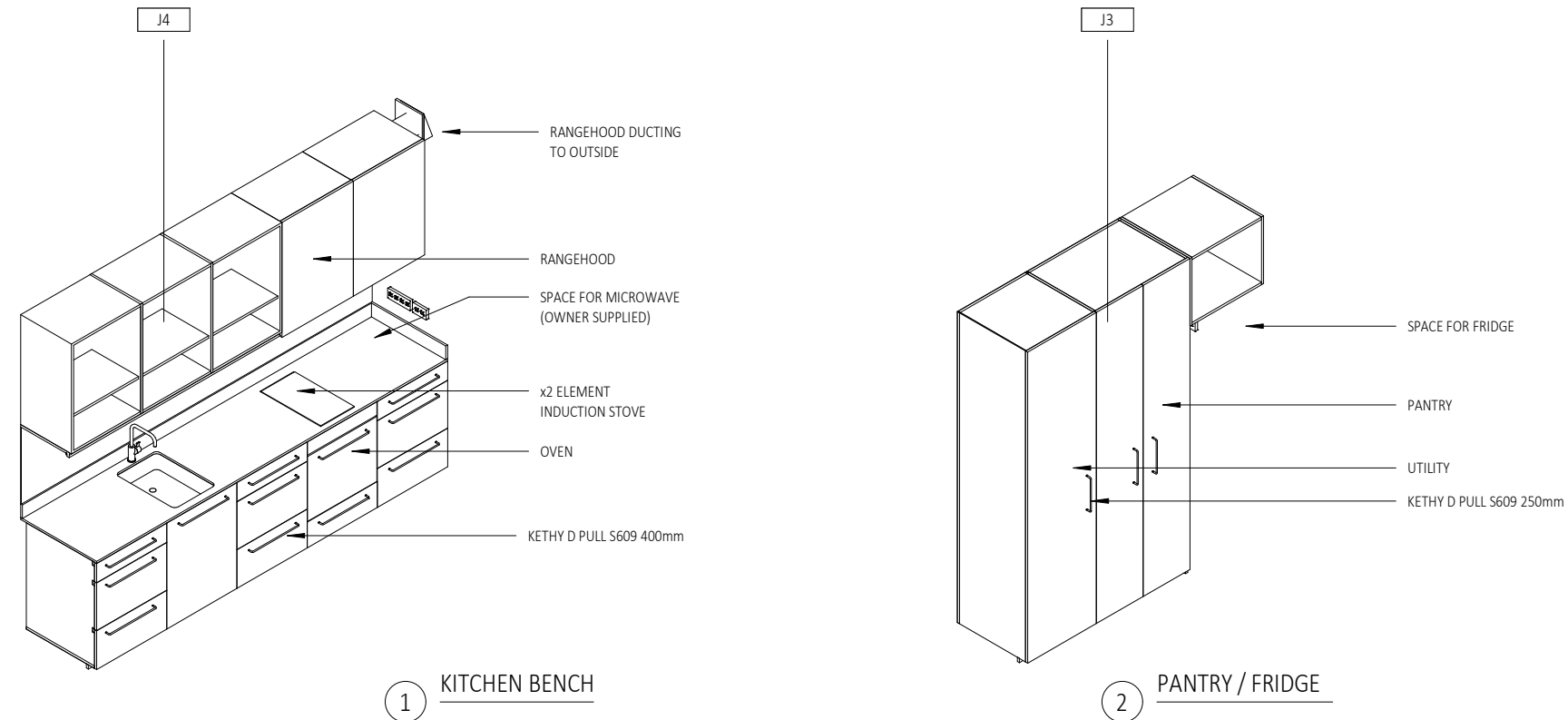
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REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



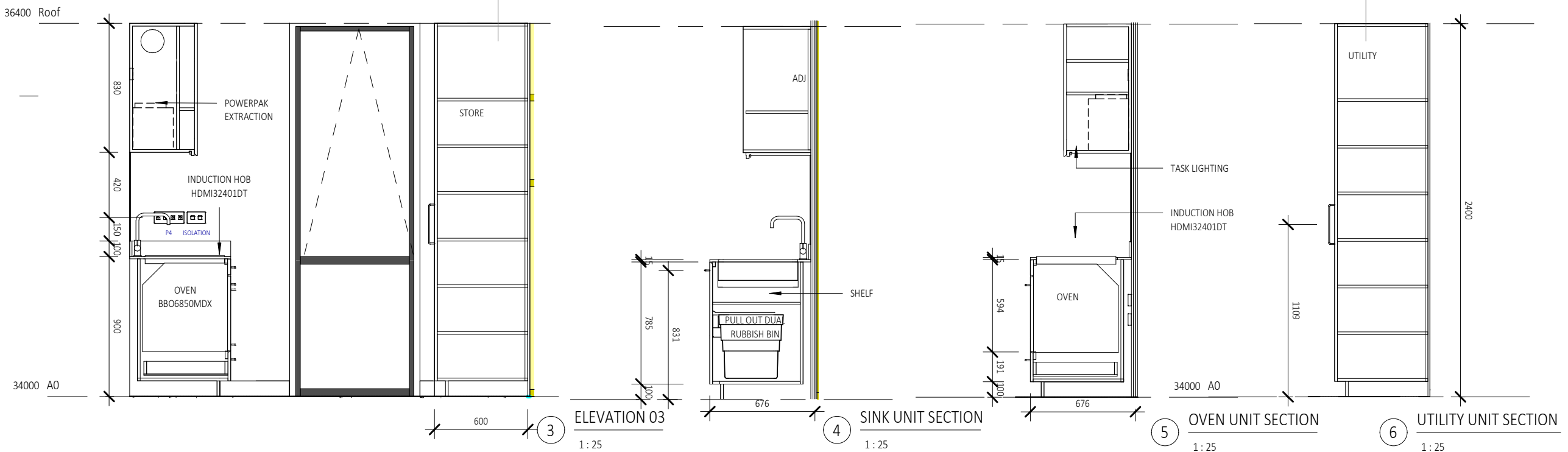
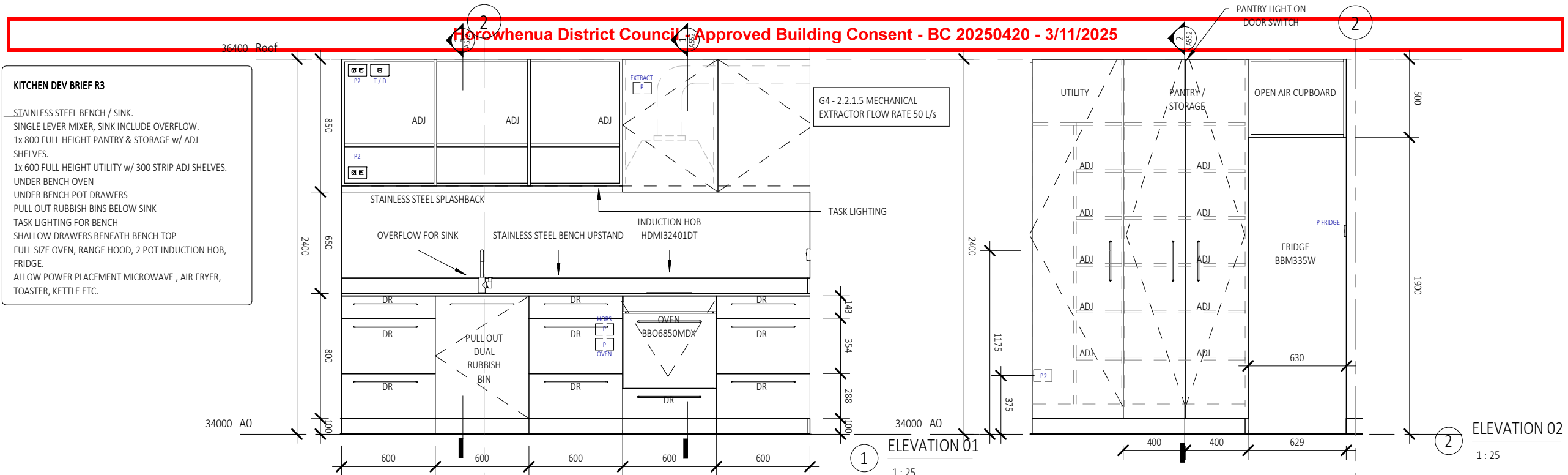
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

scale on A3: A4: 71% scale reduction
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

KITCHEN ELEVATIONS & SECTIONS

scale on A3: As indicated A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

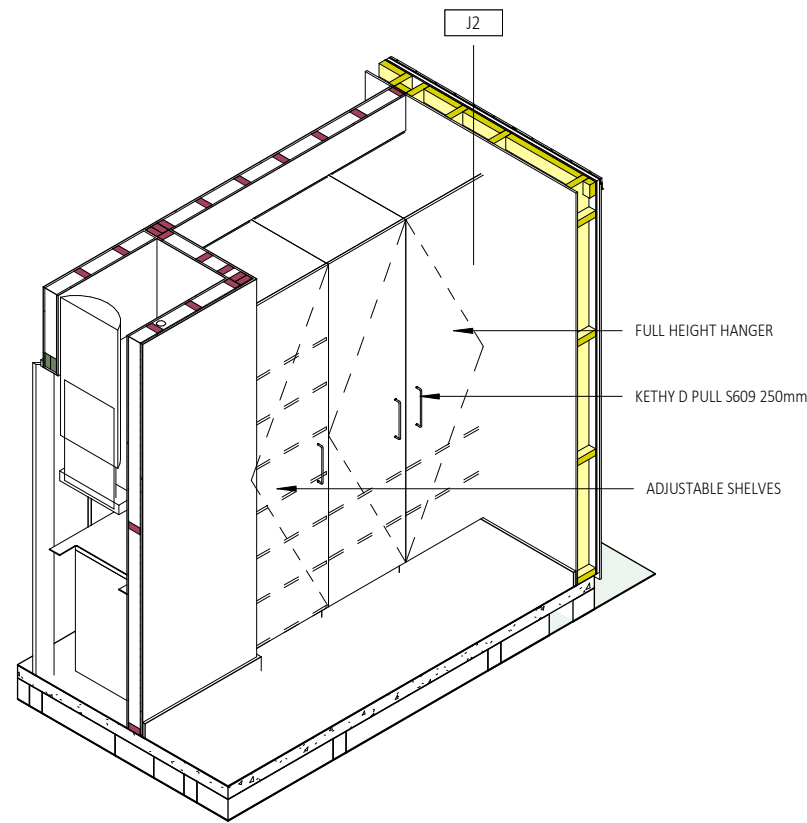
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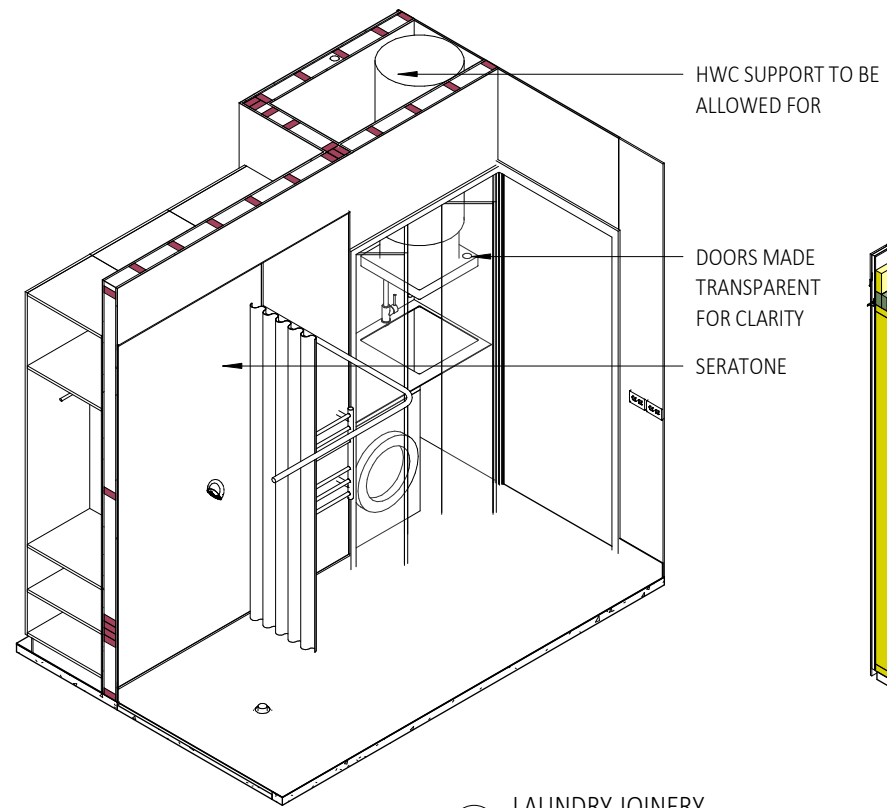
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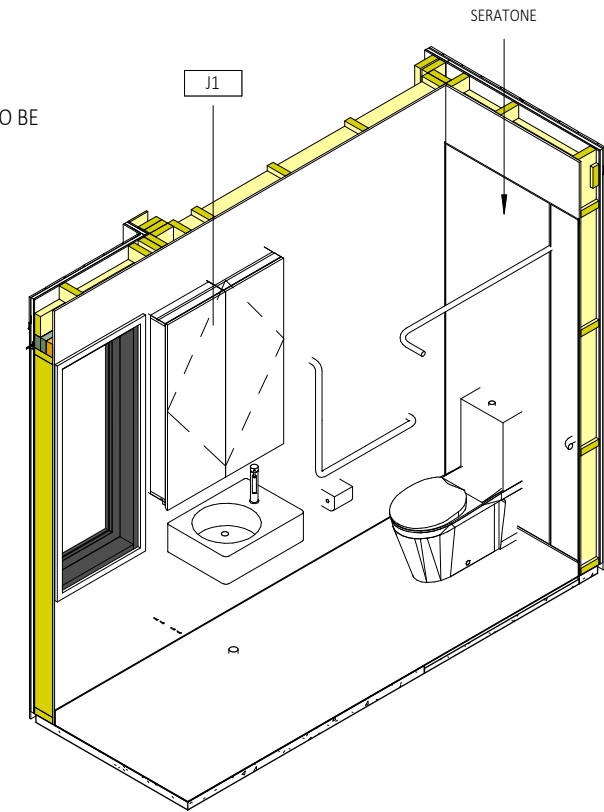
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① LINEN/WARDROBE



② LAUNDRY JOINERY



③ BATHROOM JOINERY

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND



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EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

scale on A3: A4: 71% scale reduction
if in doubt, ask

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WARDROBE/BATHROOM JOINERY

CAMBRIDGE PLACE

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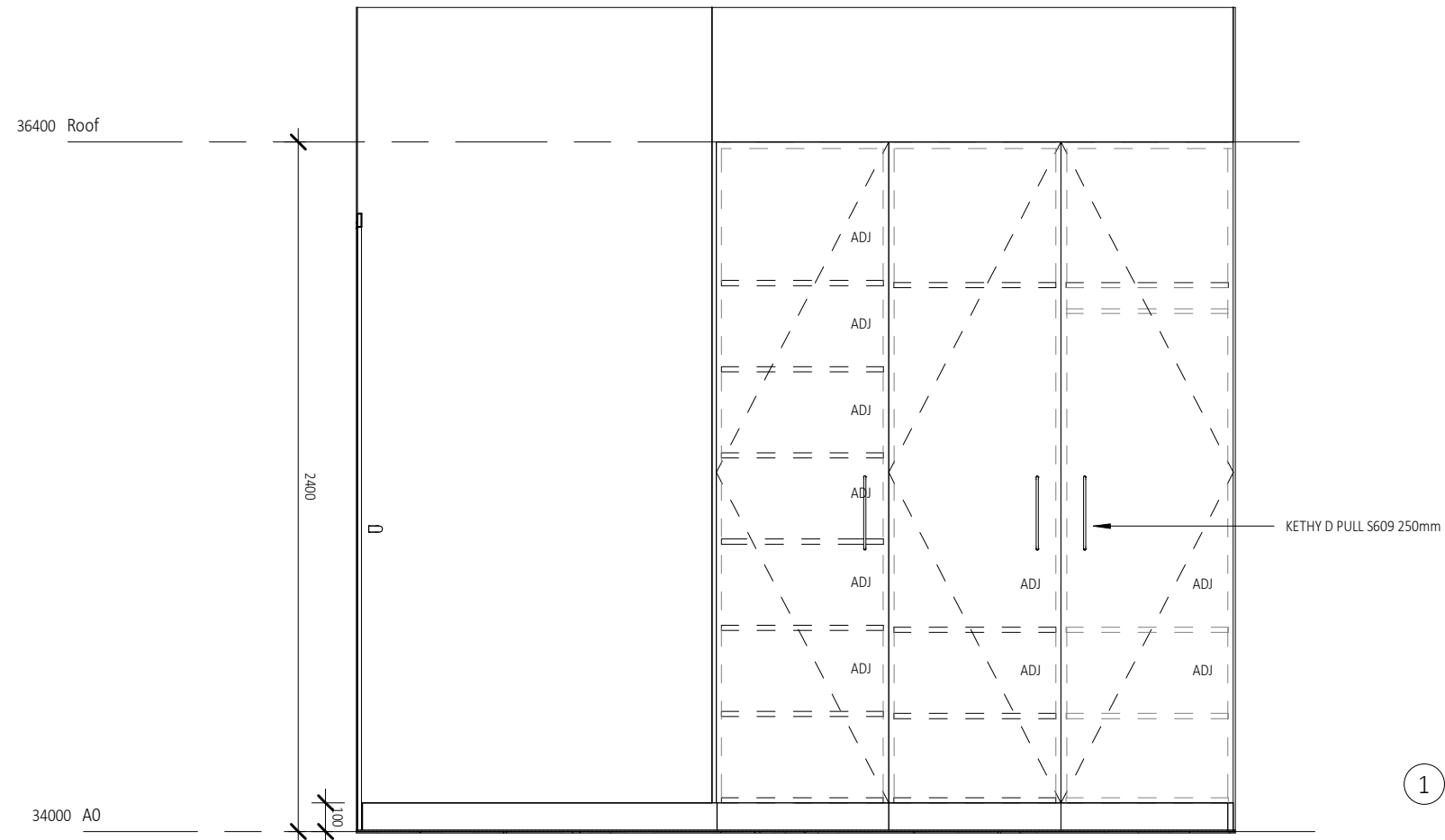
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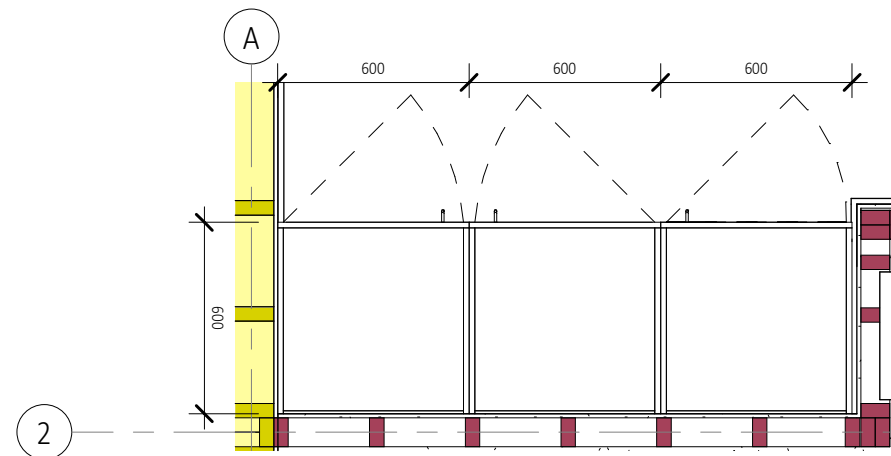
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A560

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1 BEDROOM WARDROBE ELEVATION
1:20



2 BEDROOM WARDROBE PLAN
1:20

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description
1	BUILDING CONSENT

if in doubt, ask

A4: 71% scale reduction
Date
03.10.2025

CAMBRIDGE PLACE
Wellington

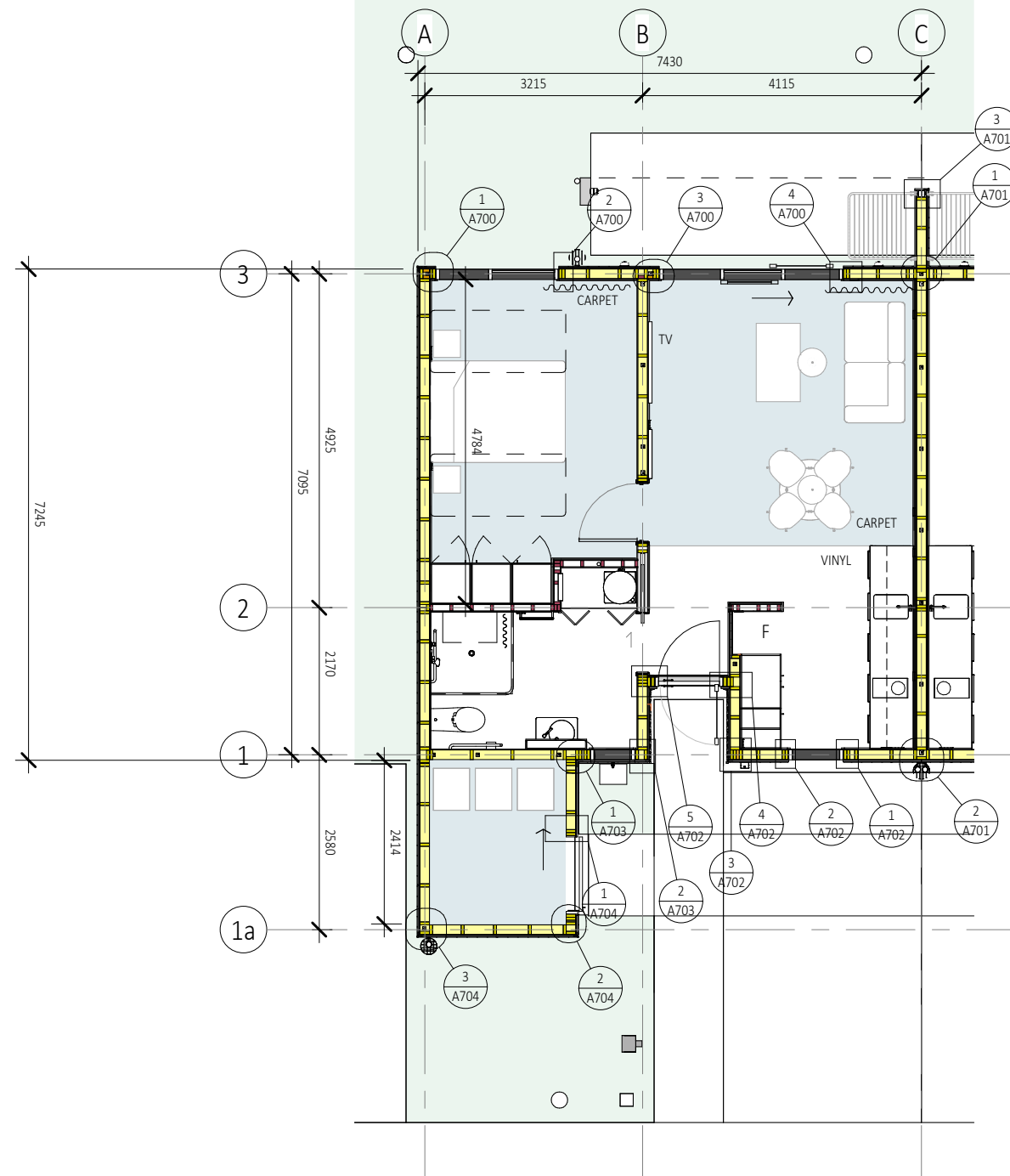
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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
1. ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
 2. DO NOT SCALE FROM DRAWINGS. DIMENSIONS GOVERN.
 3. ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS OTHERWISE NOTED.
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 5. ALTERATIONS TO THE DRAWINGS MUST BE NOTIFIED TO THE ARCHITECT IN WRITING.

CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

DETAIL PLAN

scale on A3: 1 : 80

Rev	Description
1	BUILDING CONSENT

if in doubt, ask



Date	Description
03.10.2025	

CAMBRIDGE PLACE
Wellington

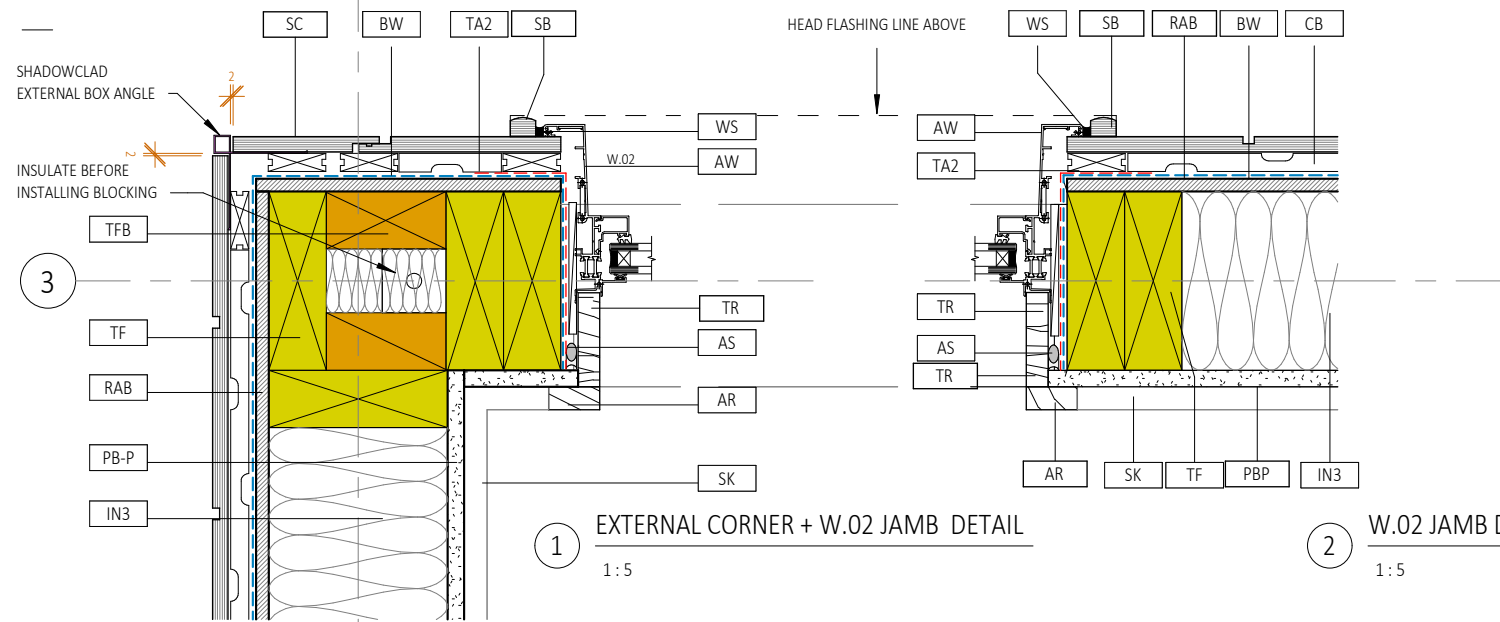
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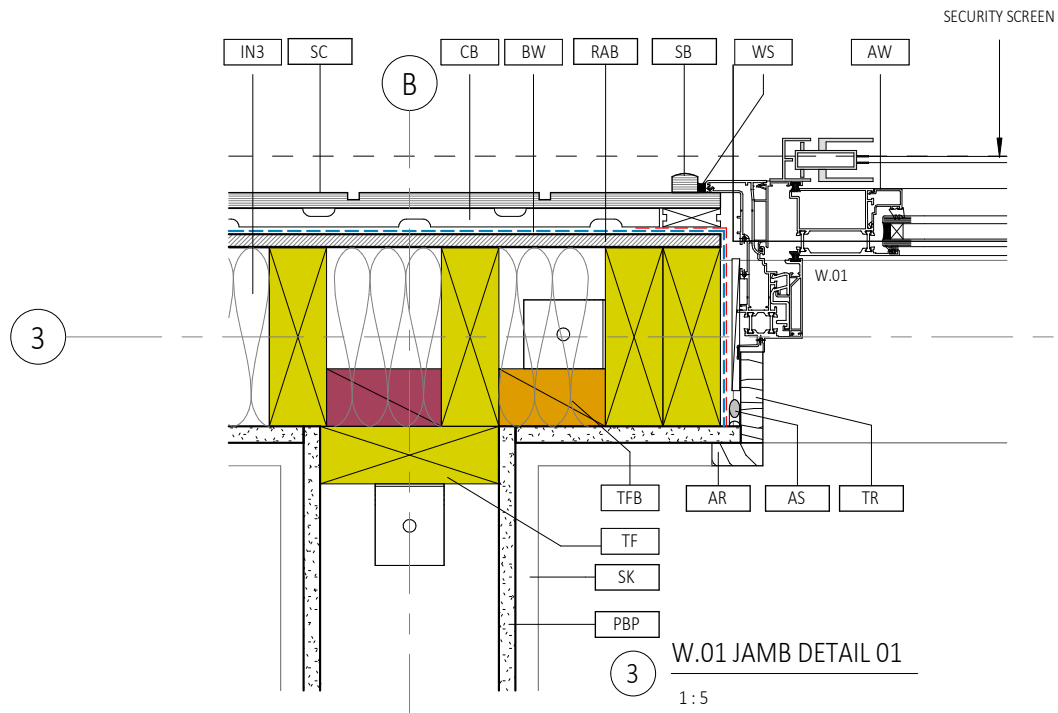
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A699

A Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

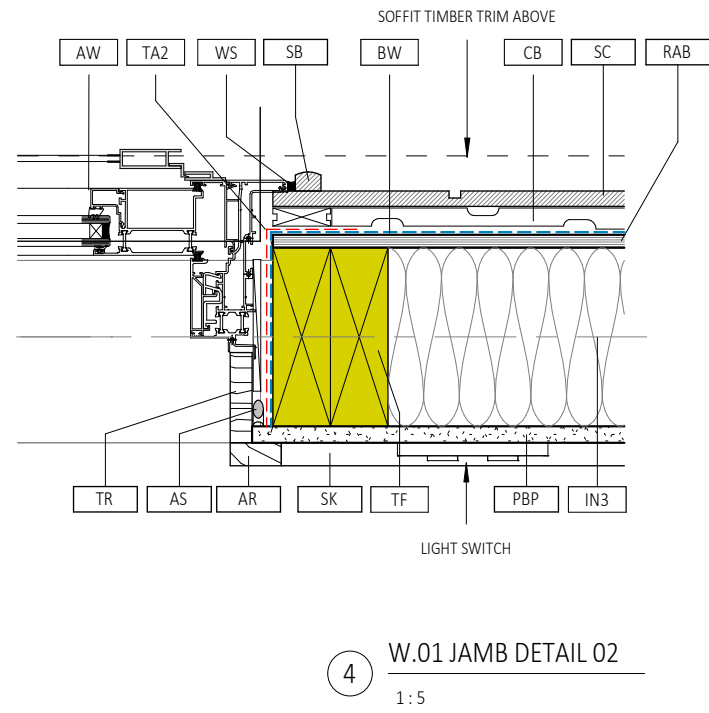


1 EXTERNAL CORNER + W.02 JAMB DETAIL
1:5

2 W.02 JAMB DETAIL
1:5



3 W.01 JAMB DETAIL 01
1:5



4 W.01 JAMB DETAIL 02
1:5

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
 EARTHQUAKE ZONE: 3
 EXPOSURE ZONE: C
 RAINFALL RANGE: 60-70
 WIND ZONE: LOW

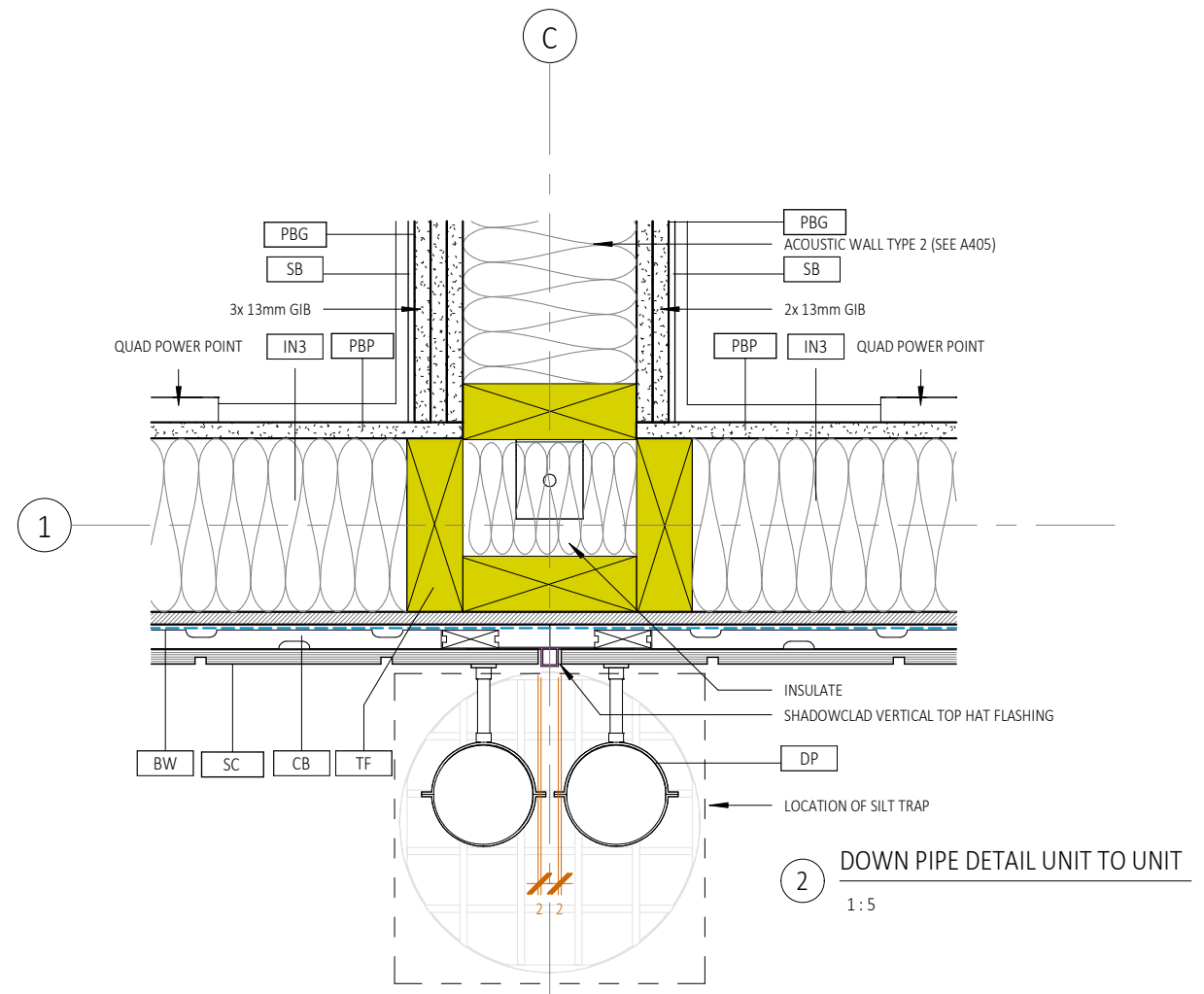
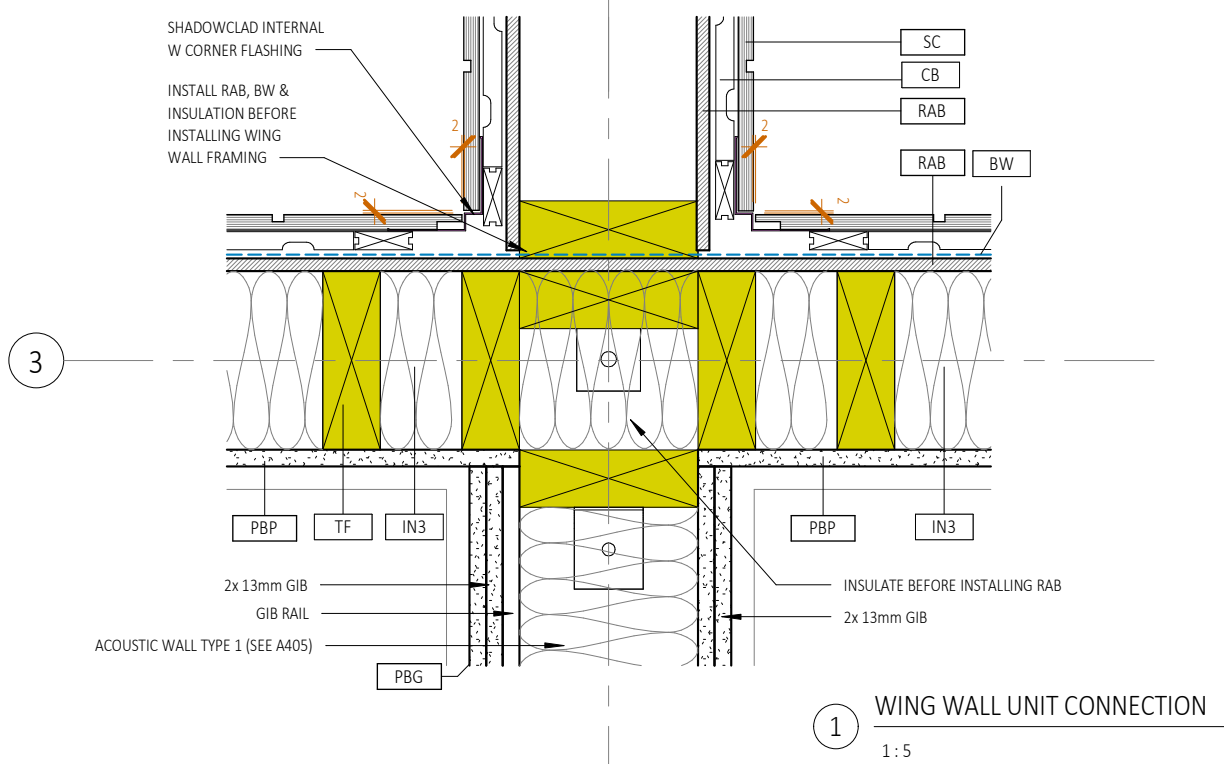
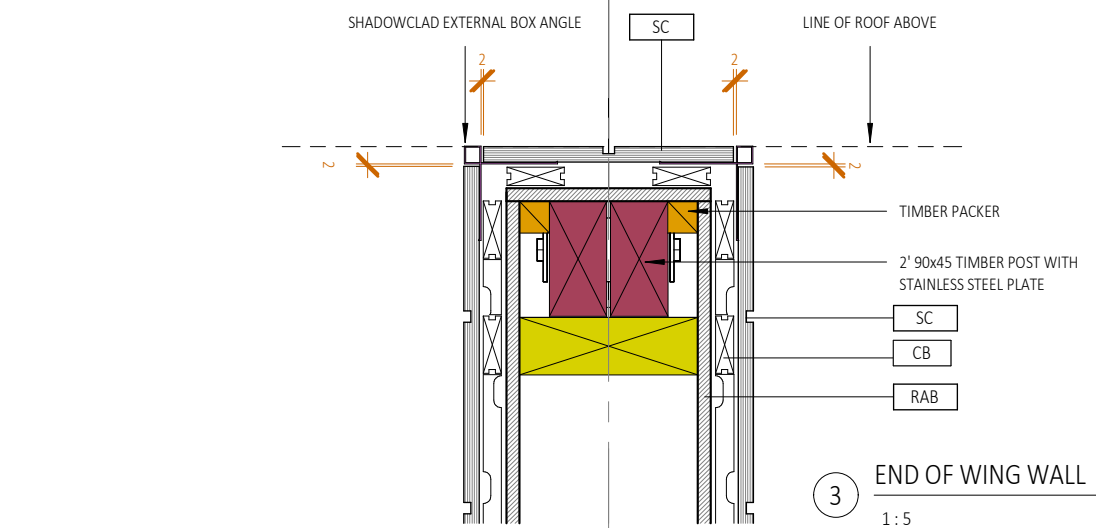
PLAN DETAILS W.01 & W.02
 scale on A3: 1:5
 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

PLAN DETAILS WING WALL

scale on A3: 1:5 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

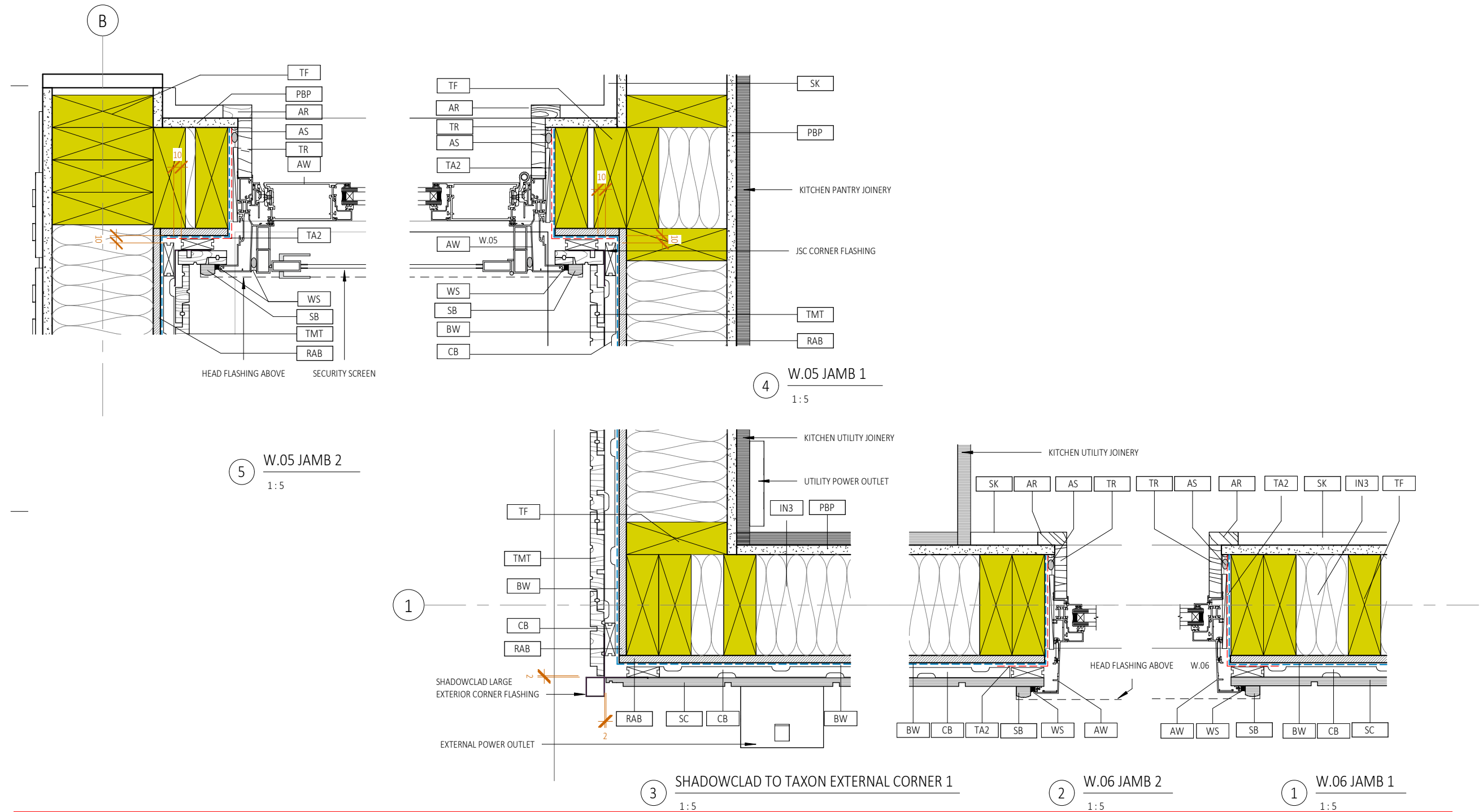
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REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

if in doubt, ask

PLAN DETAILS W.05 & W.06

scale on A3: 1:5

A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

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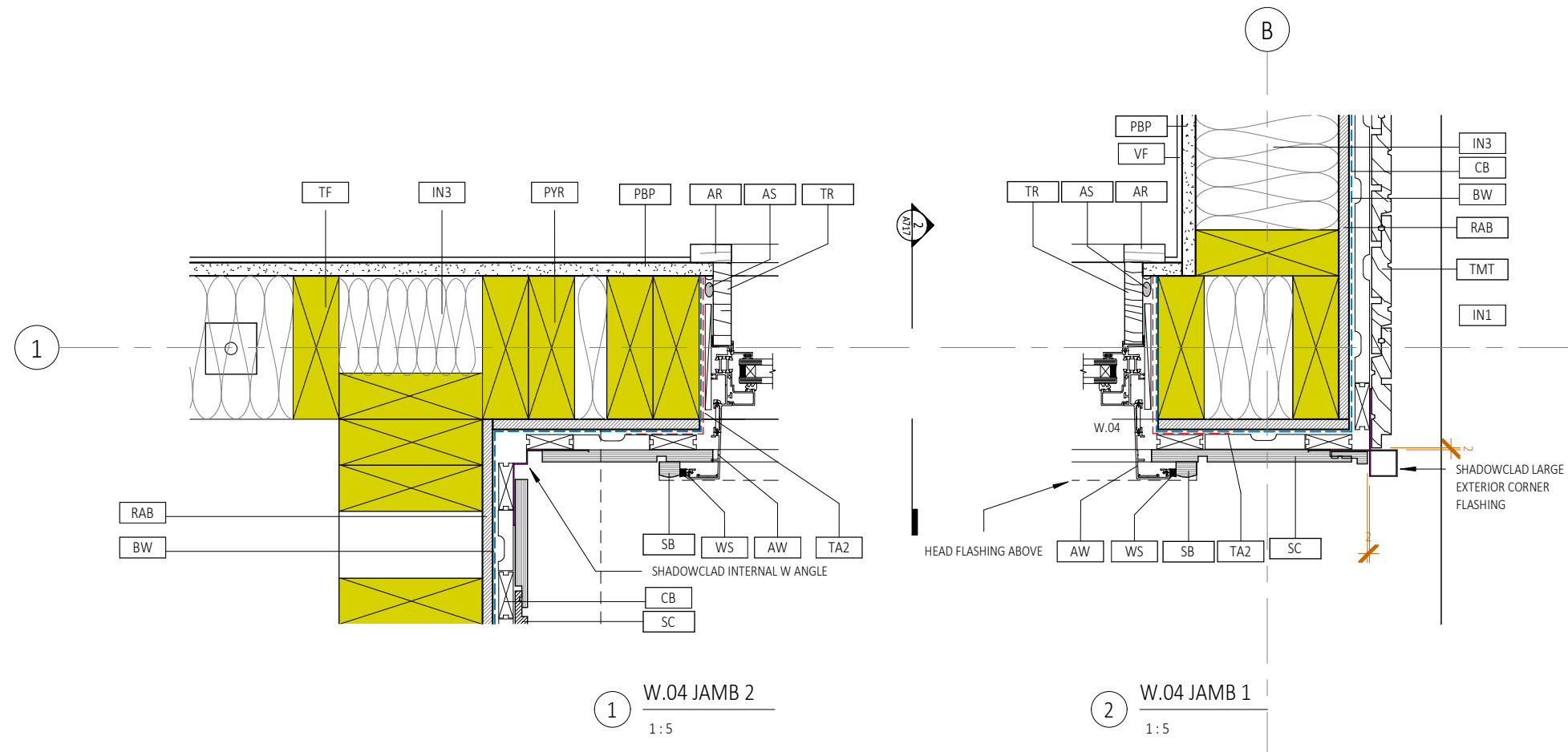
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REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

PLAN DETAILS W.04
scale on A3: 1:5

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

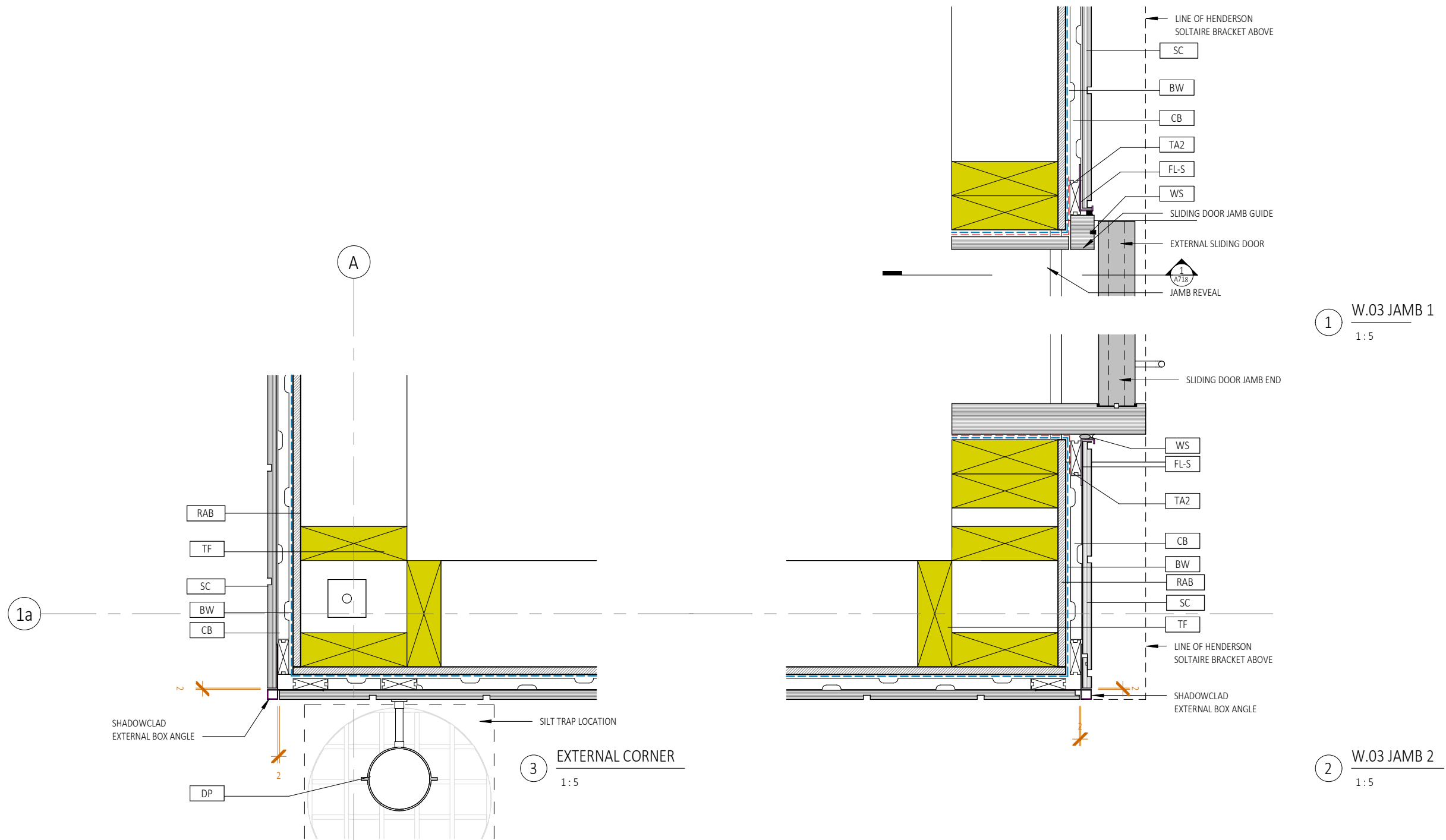
A4: 71% scale reduction

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REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

PLAN DETAILS W.03
scale on A3: 1:5

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

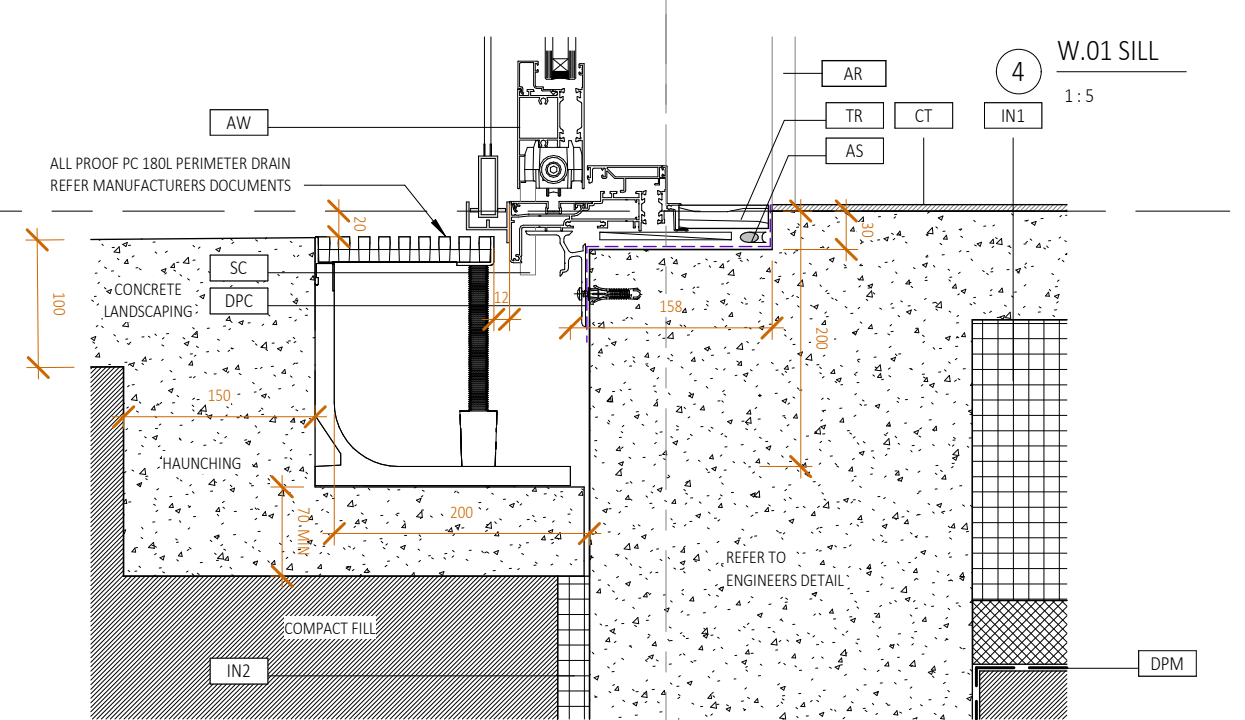
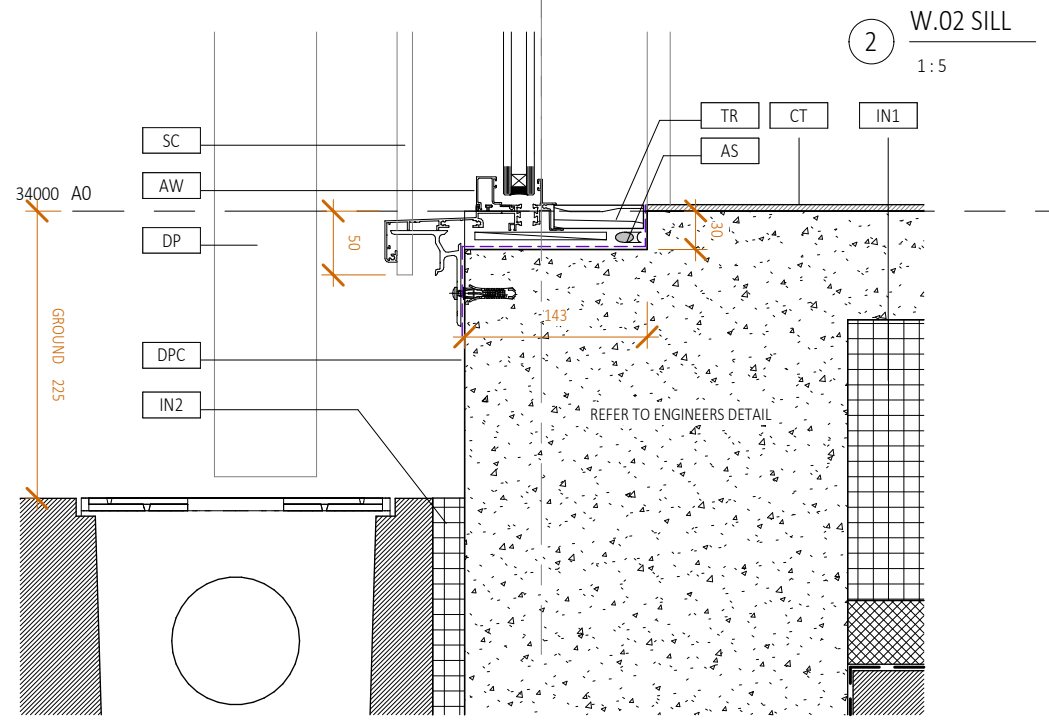
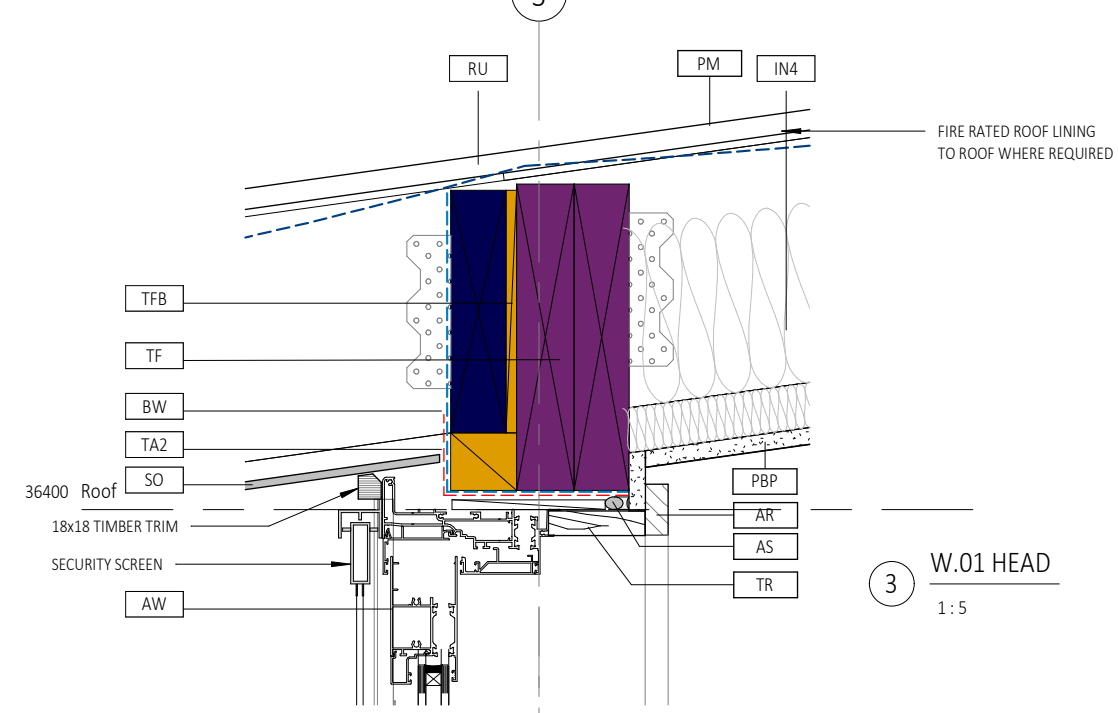
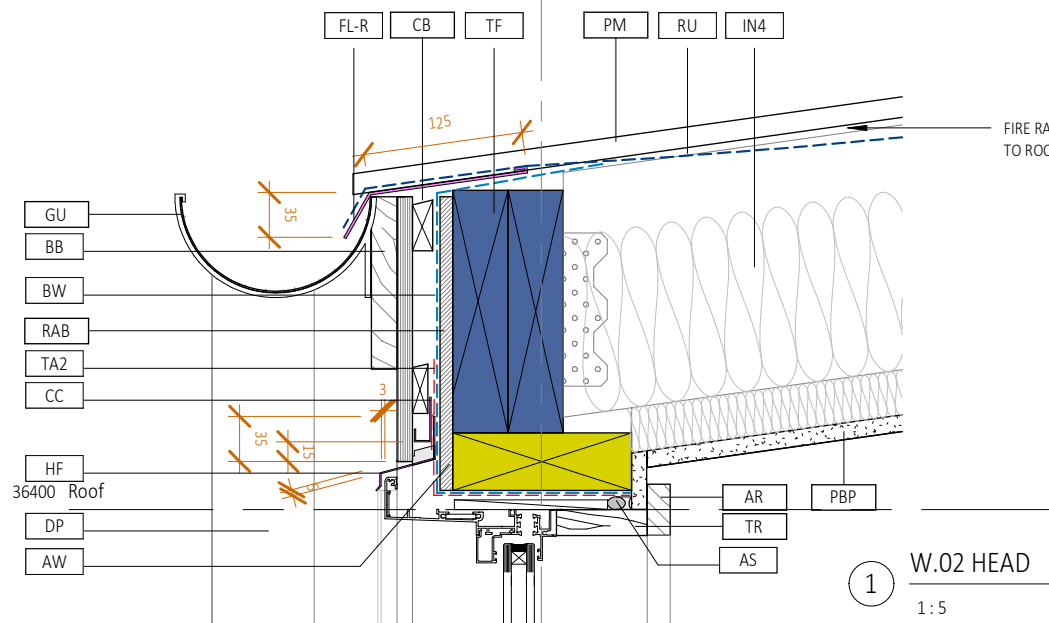
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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

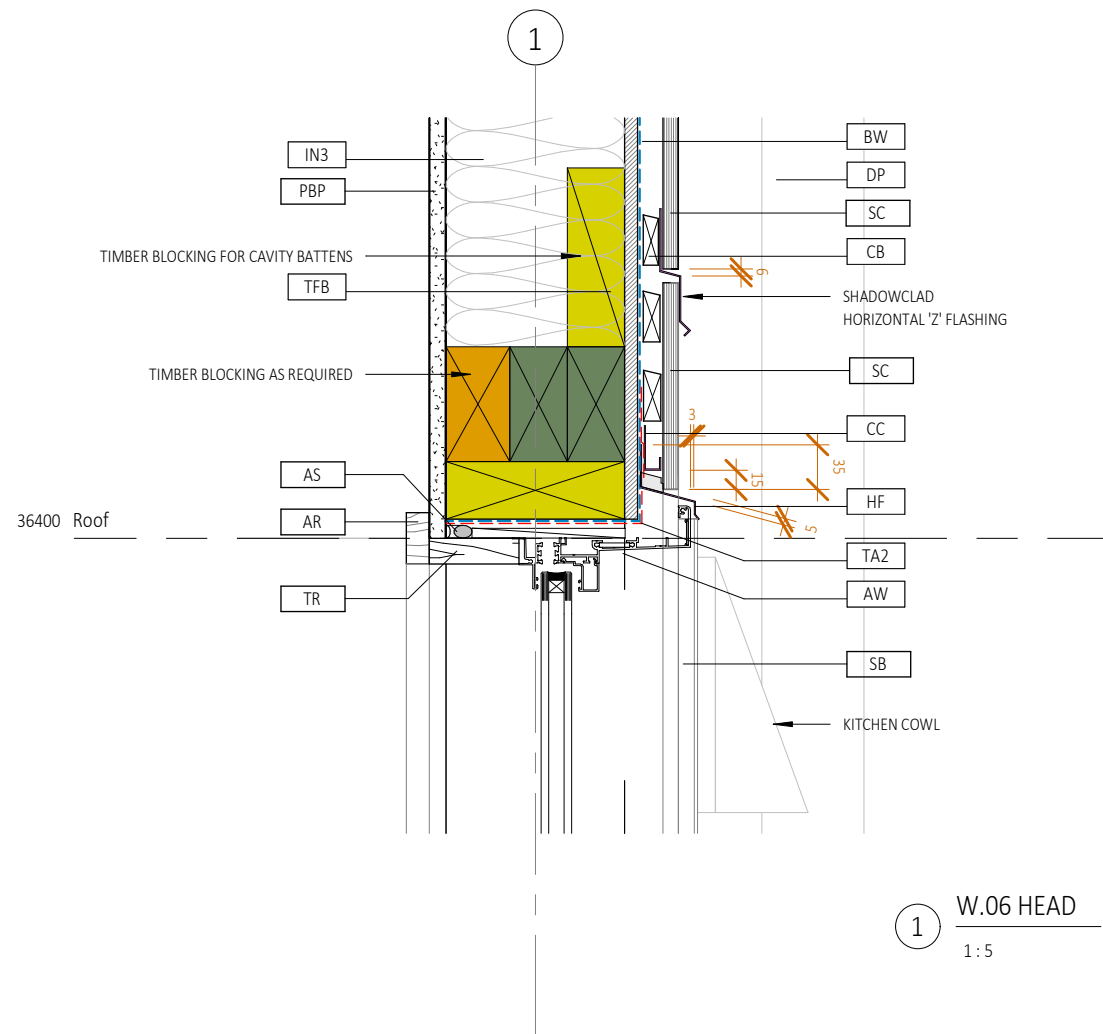
SECTION DETAILS W.01 & W.02
scale on A3: 1:5 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

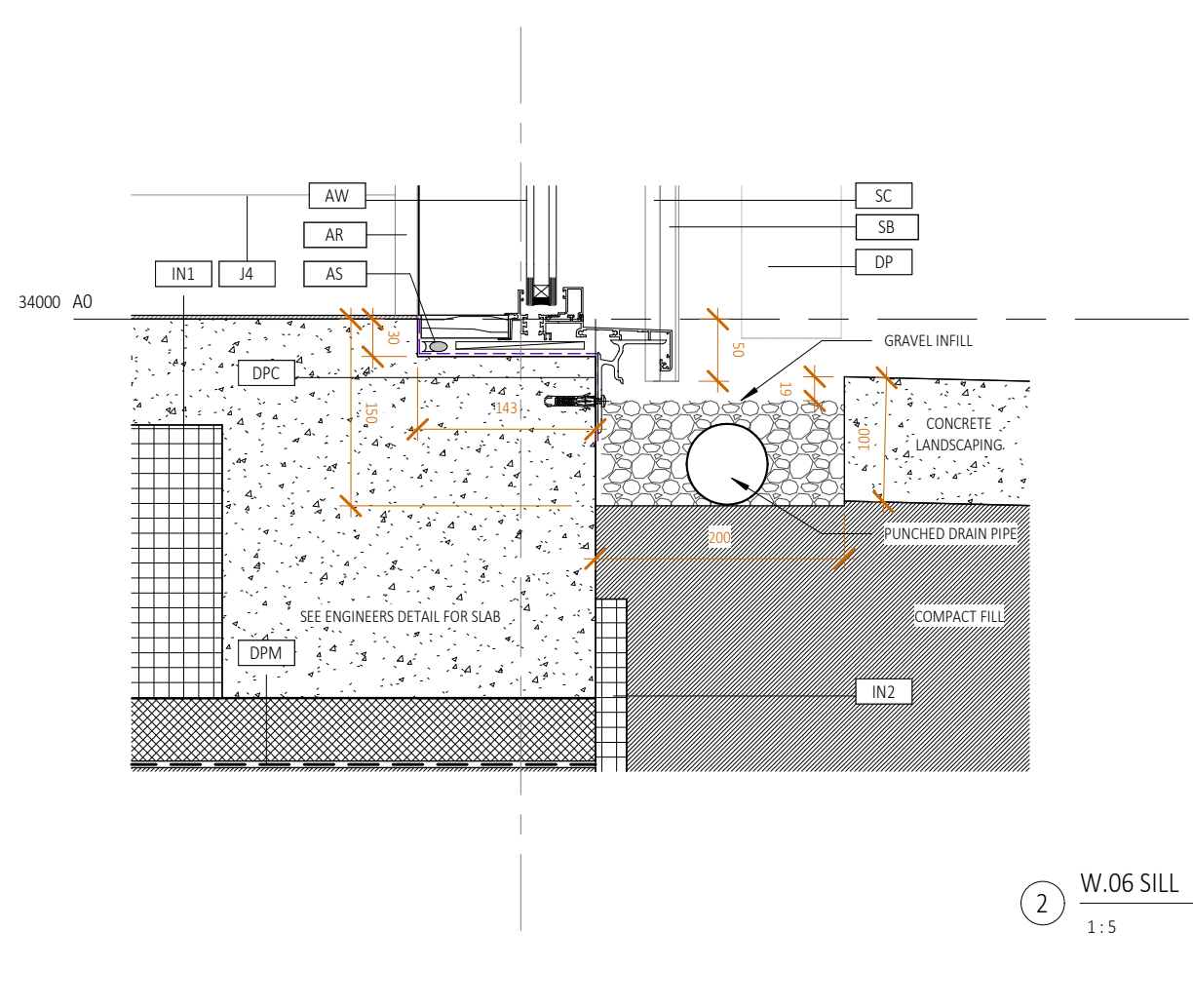
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1 W.06 HEAD
1:5



2 W.06 SILL
1:5

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

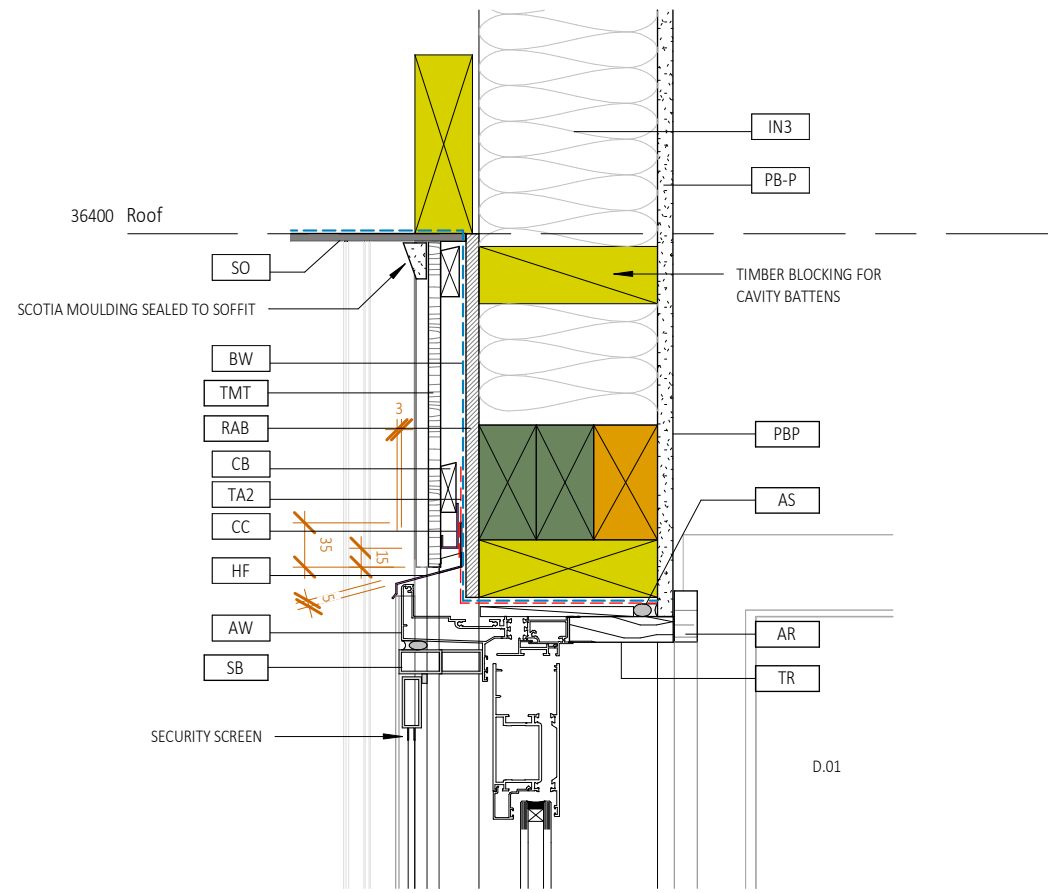
SECTION DETAILS W.06
scale on A3: 1:5
A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

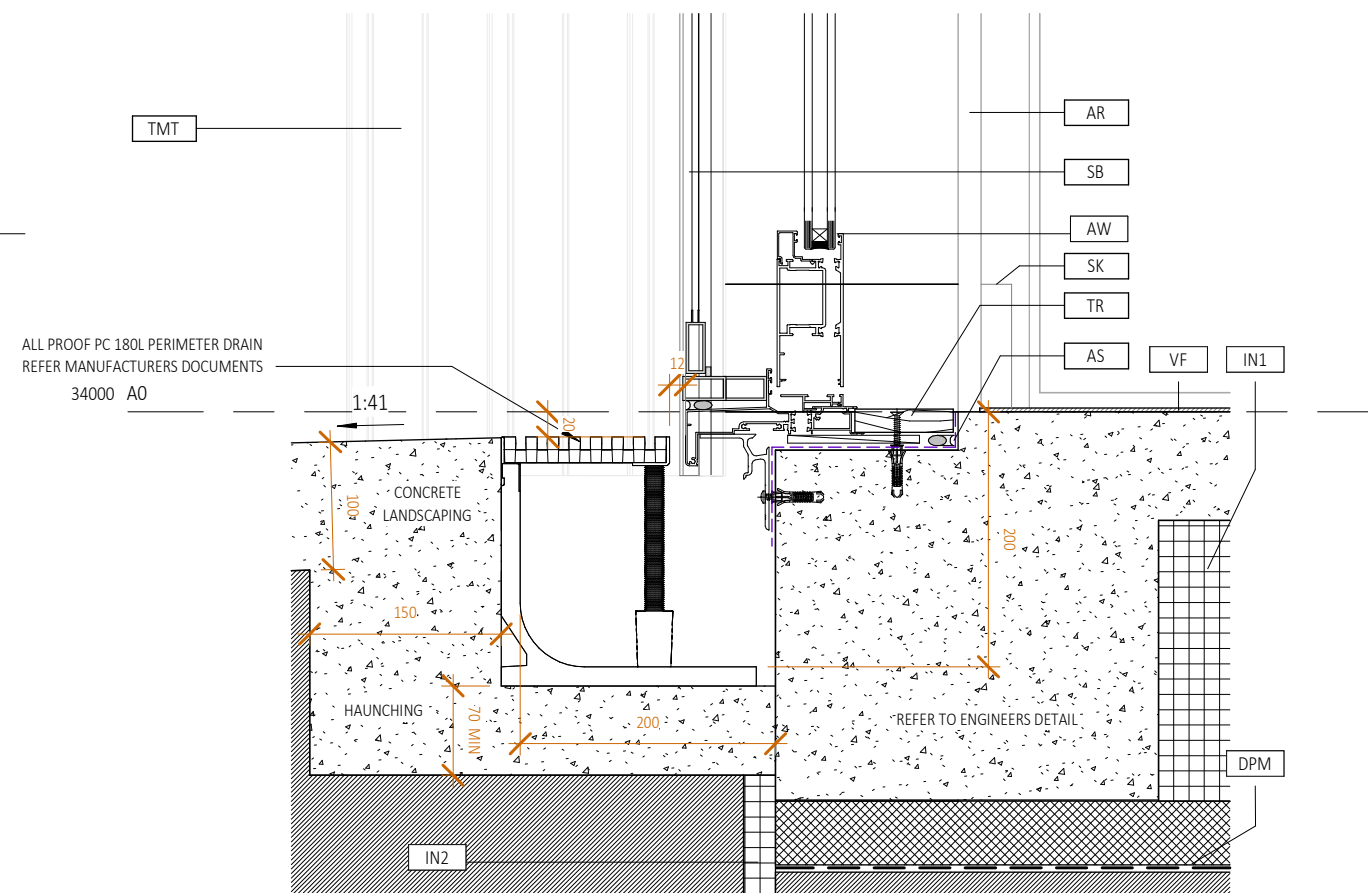
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1 W.05 HEAD
1:5



3 W.05 SILL
1:5

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SECTION DETAILS W.05
scale on A3: 1:5
A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask

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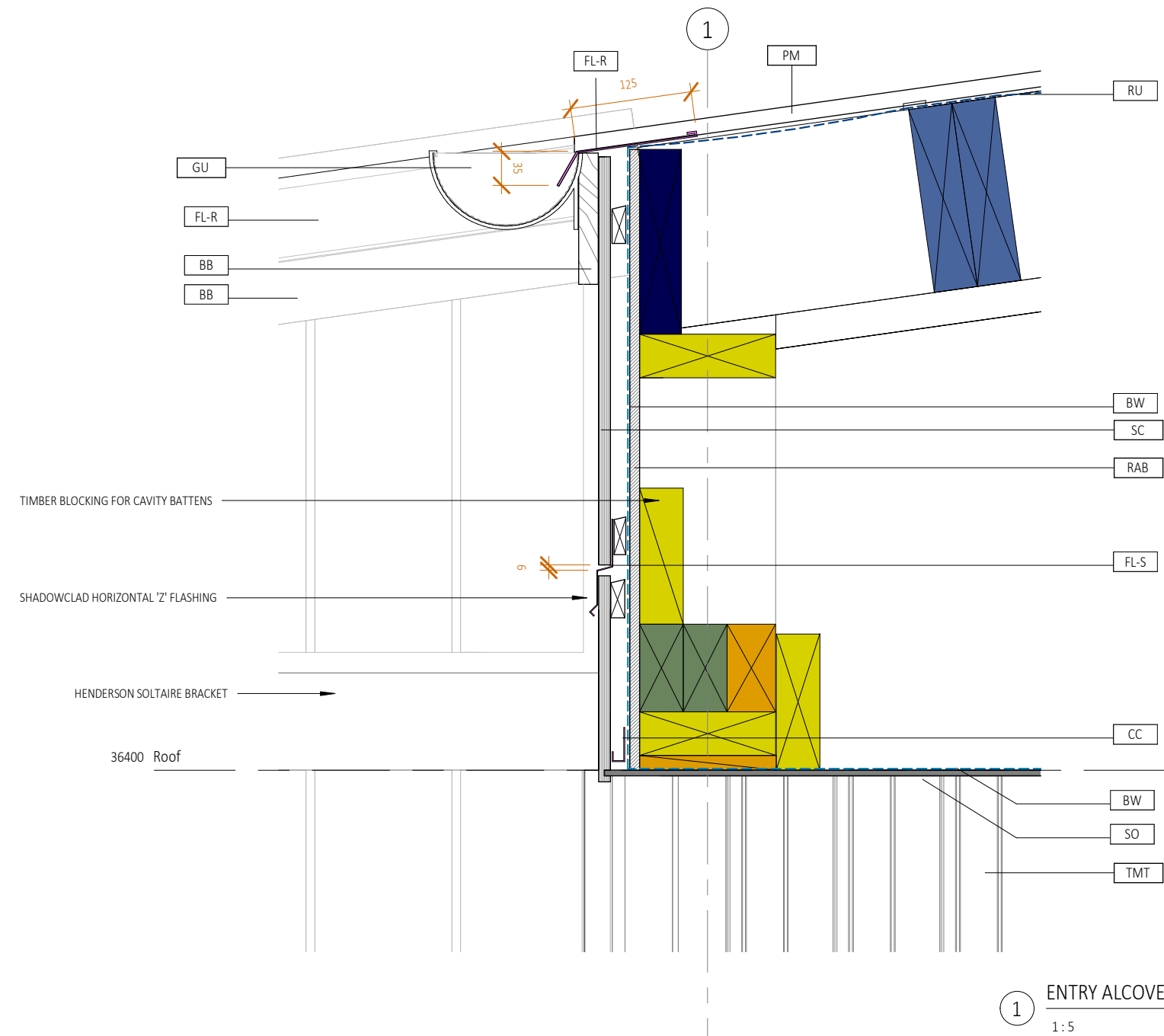
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① ENTRY ALCOVE
1:5

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SECTION ENTRY ALCOVE
scale on A3: 1:5

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

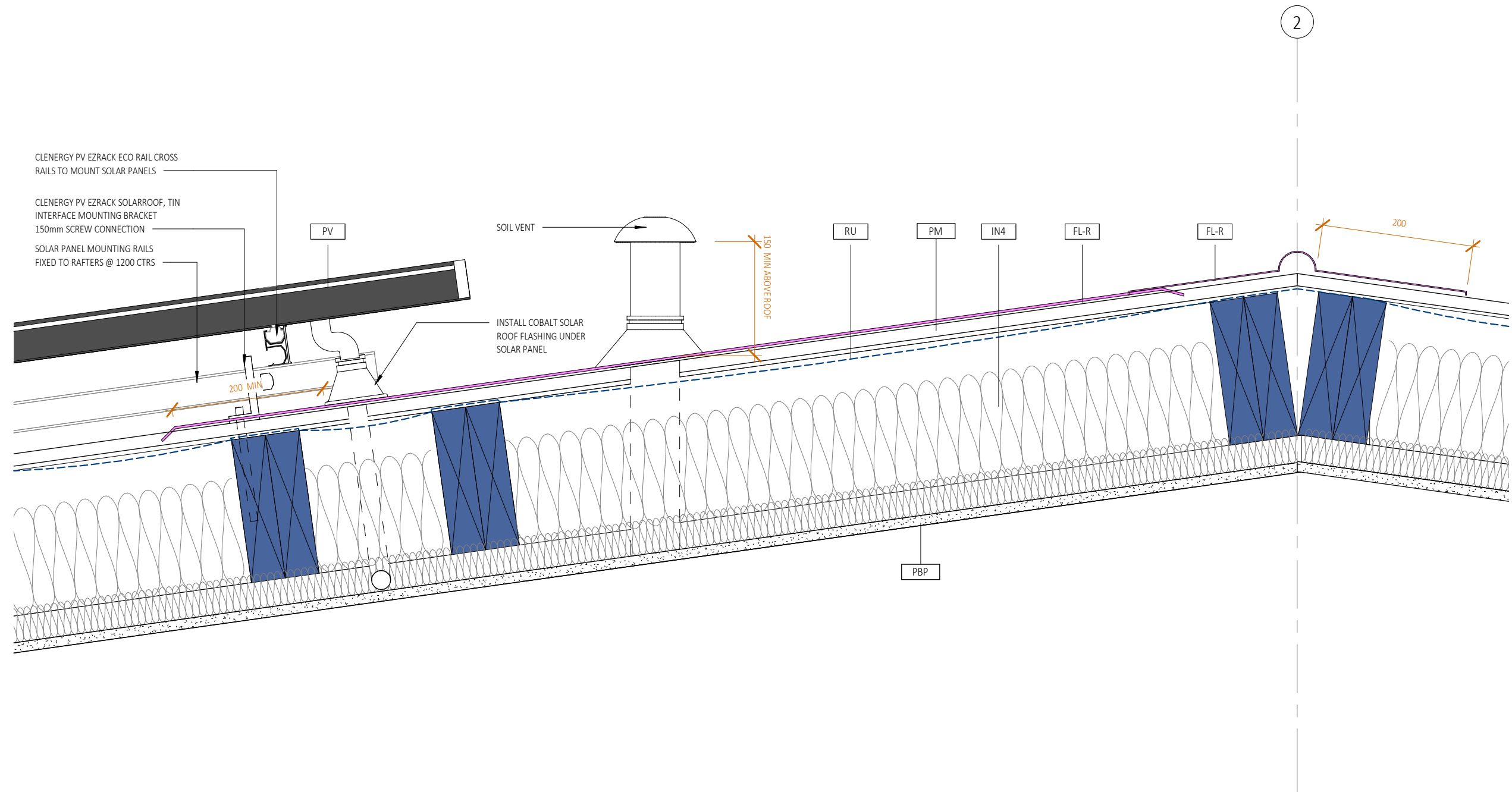
A4: 71% scale reduction

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REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

1 ROOF PENETRATIONS
1:5

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

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SECTION DETAILS ROOF
PENETRATIONS

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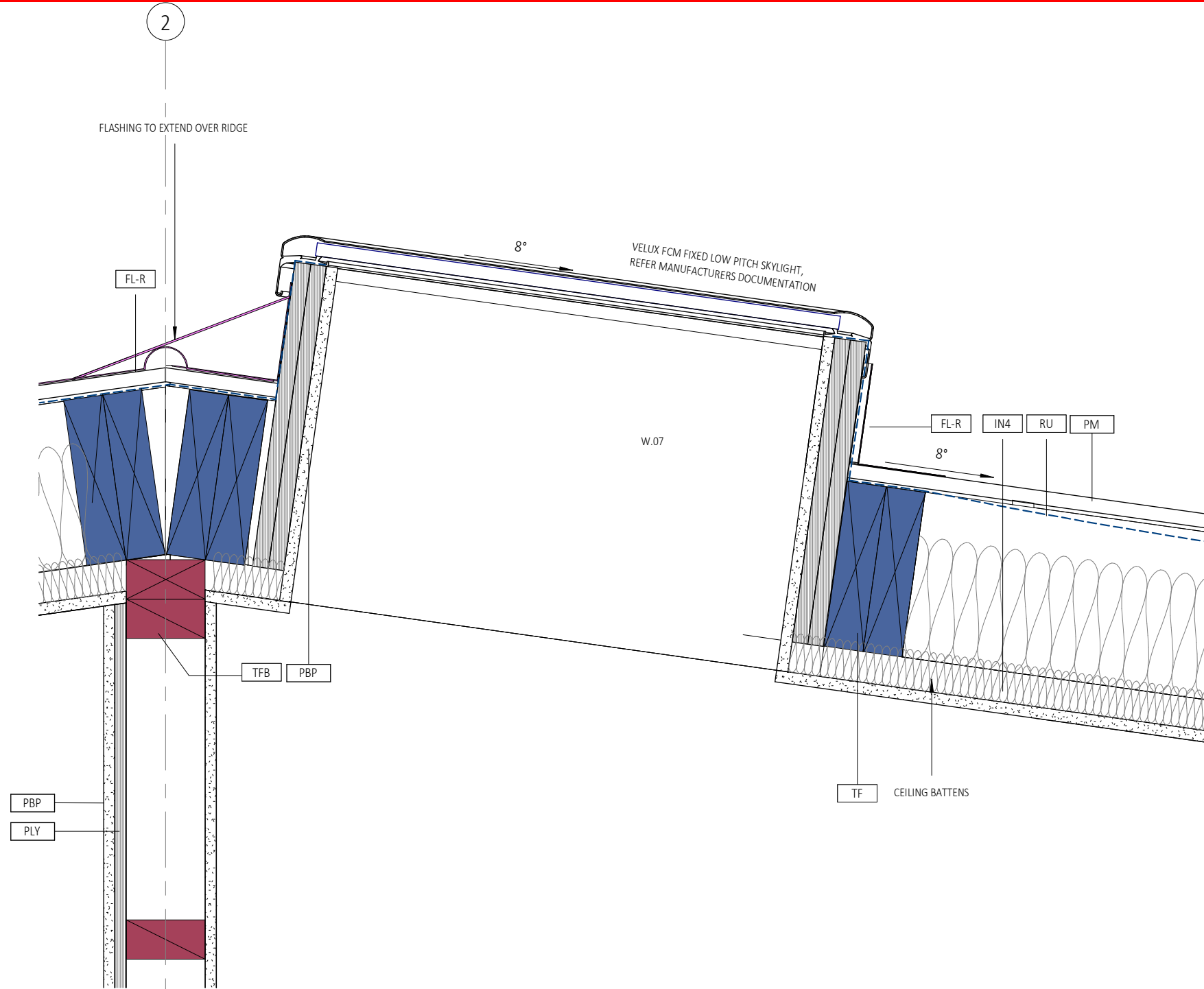
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1 W.07 & W.08 SECTION 1
1:5

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REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SECTION DETAIL W.07 & W.08 1

scale on A3: 1:5 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

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1 W.07 & W.08 SECTION 2
1:5

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

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BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SECTION DETAIL W.07 & W.08 2
scale on A3: 1:5 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

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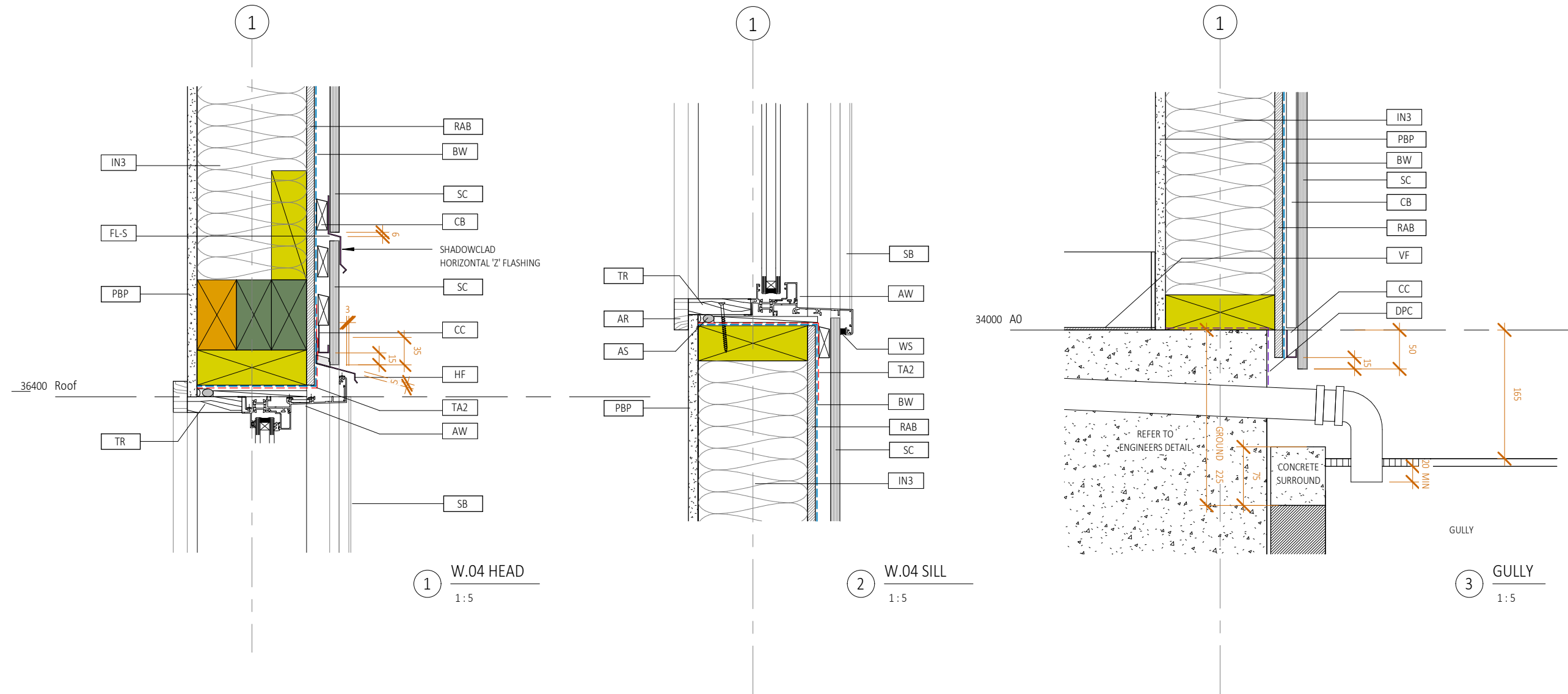
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BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SECTION DETAILS W.04 & GULLY

scale on A3: 1:5 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask

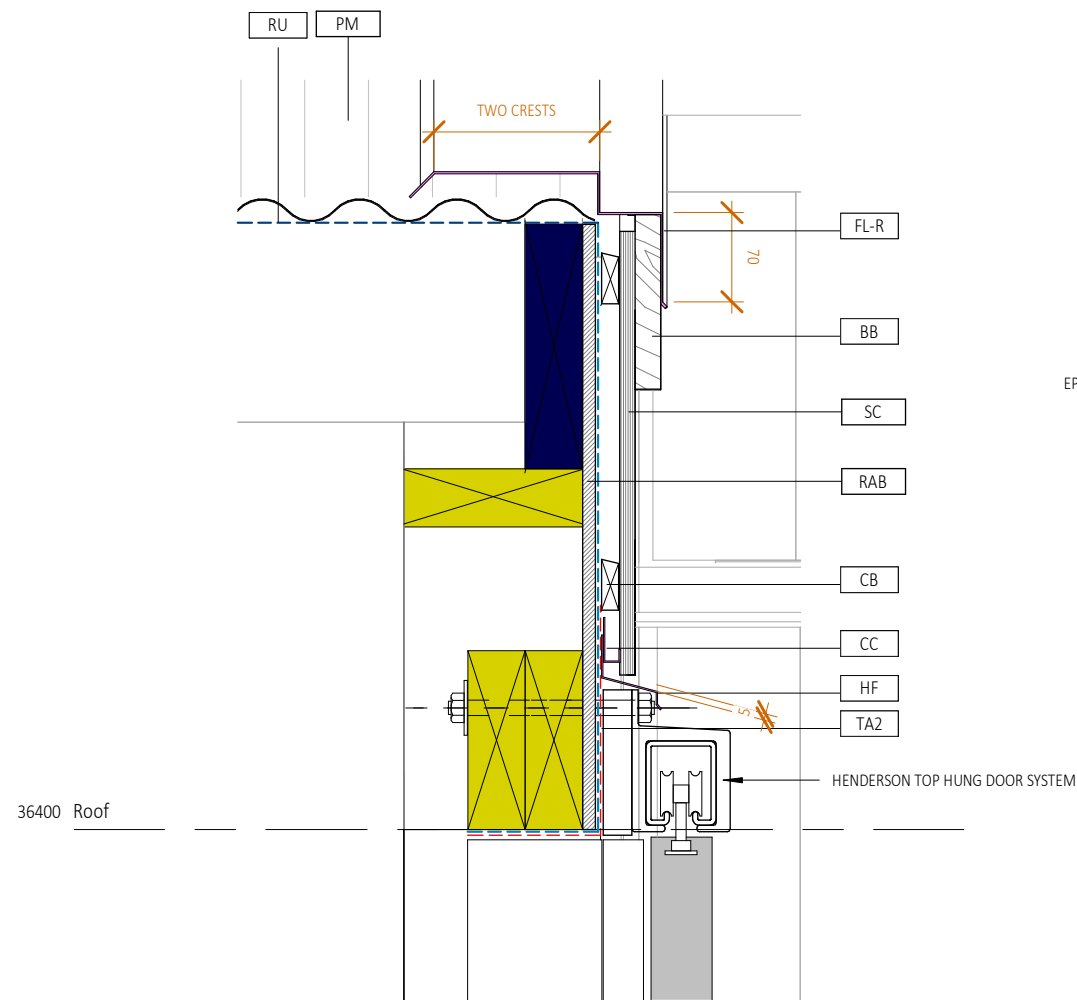
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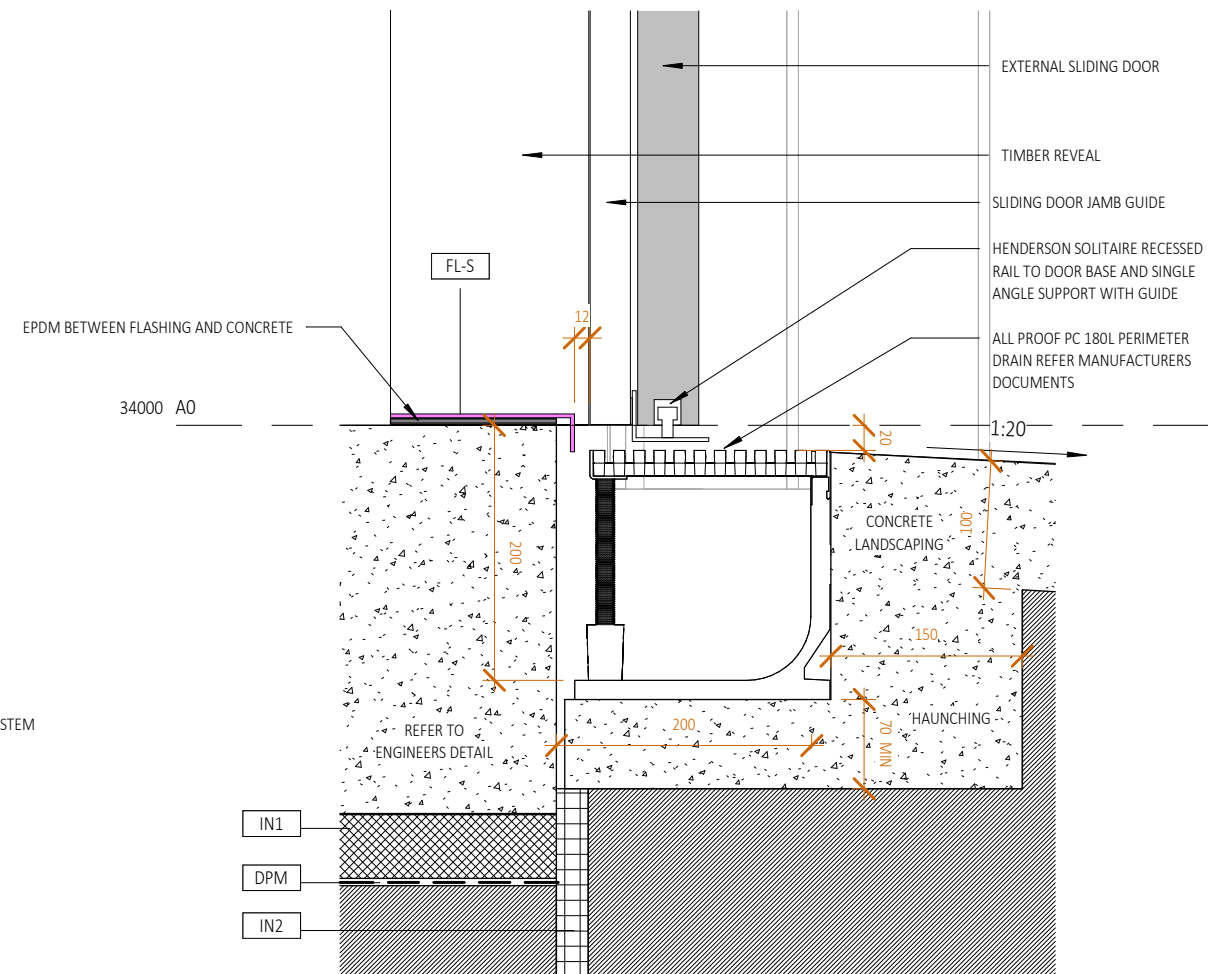
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1 W.03 HEAD
1:5



2 W.03 SILL
1:5

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

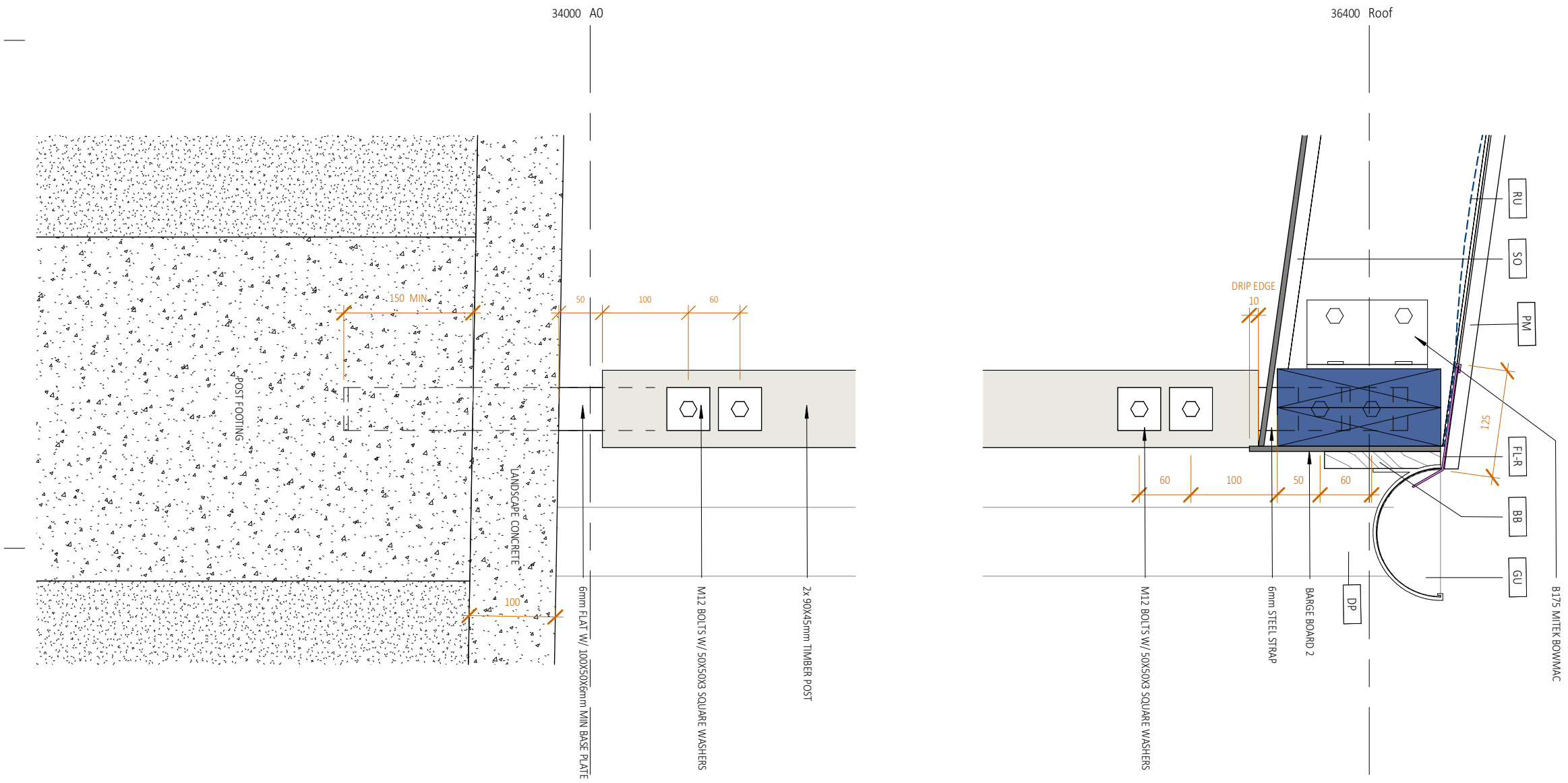
SECTION DETAILS W.03
scale on A3: 1:5 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

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A718

Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025



REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
1. ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
 2. DO NOT SCALE FROM DRAWINGS. DIMENSIONS GOVERN.
 3. ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
 5. ALTERATIONS TO THE DRAWINGS MUST BE NOTIFIED TO THE ARCHITECT IN WRITING.

CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SECTION DETAIL POST

scale on A3: 1 : 5

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

A4: 71% scale reduction

CAMBRIDGE PLACE SF

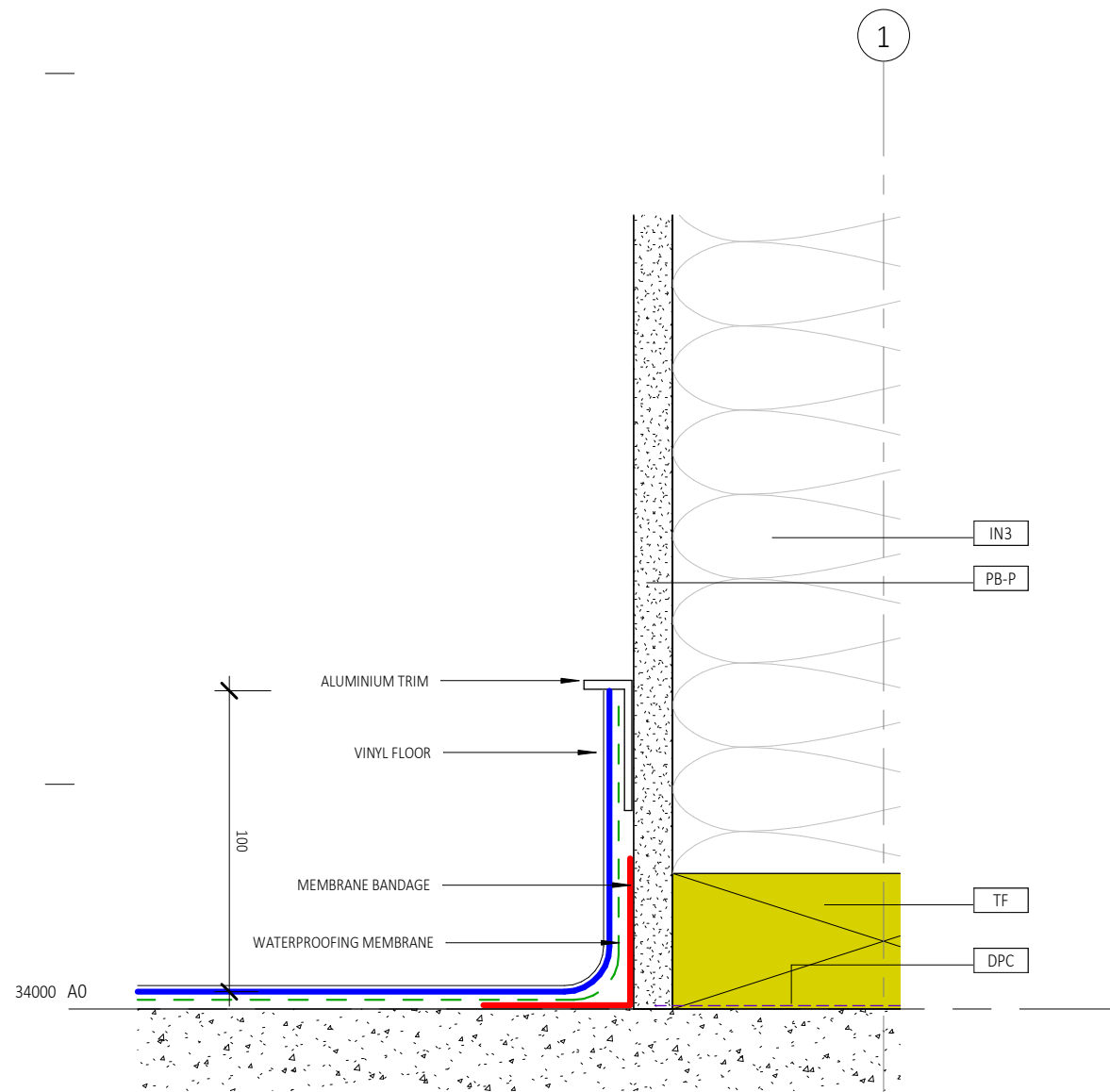
Wellington

03.10.2025

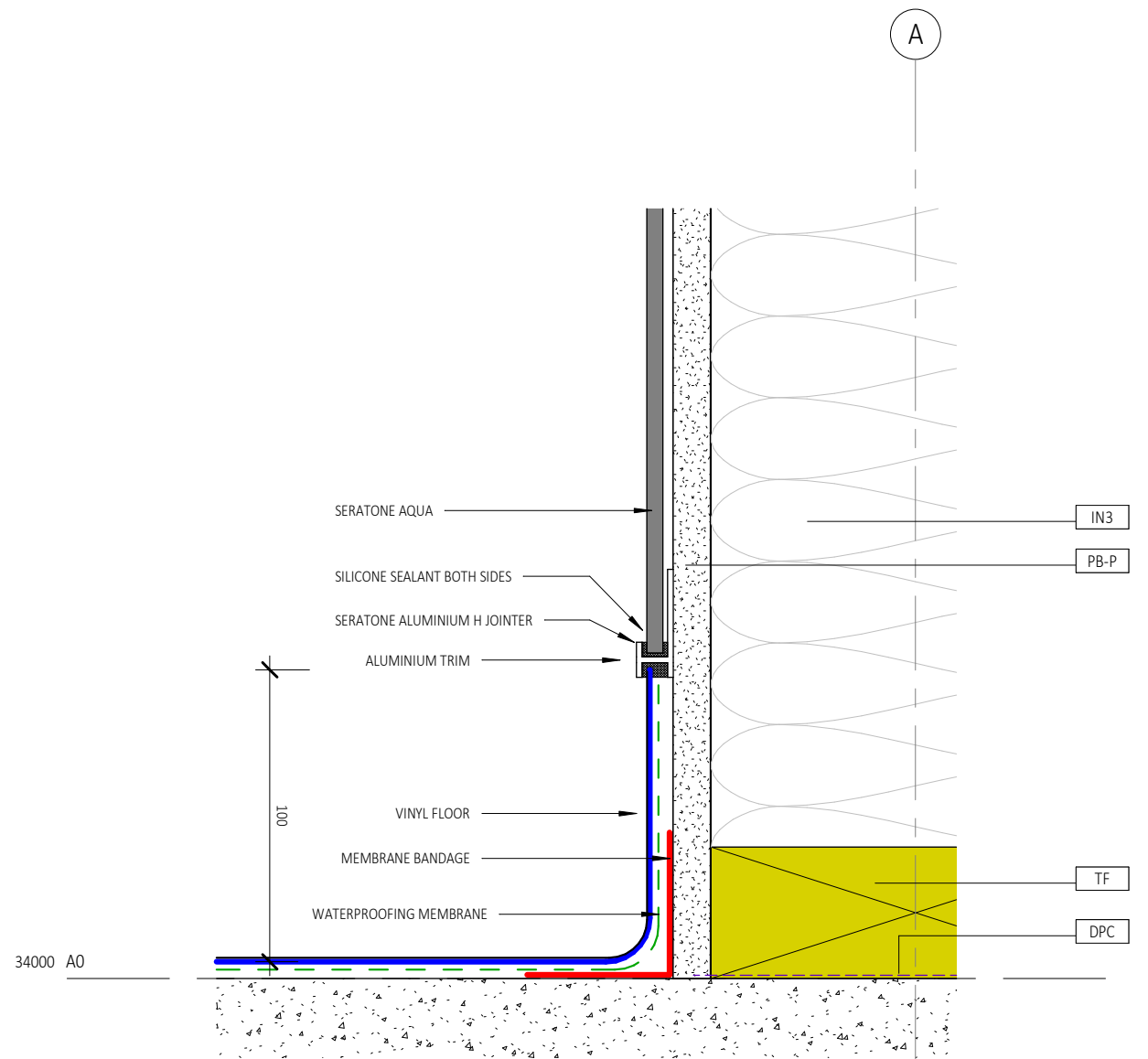
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A719

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1 VINYL FLOOR DETAIL 1
1:2



2 SHOWER WALL DETAIL 1
1:2

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SECTION DETAIL VINYL FLOOR

scale on A3: 1:2 A4: 71% scale reduction

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

if in doubt, ask

CAMBRIDGE PLACE SF
Wellington

03.10.2025

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1
A720

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LANDSCAPE KEY

- NEW FRONT GARDEN
- ROAD
- FOOTPATHS / DRIVEWAYS
- COURTYARD PAVING
- NEW TREES
- EXISTING TREES RETAINED

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:**
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CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

LANDSCAPE

scale on A3: As indicated

Rev	Description	Date
1	BUILDING CONSENT	03.10.2025

A4: 71% scale reduction

CAMBRIDGE PLACE SF

Wellington

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03.10.2025

1
A800

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GENERAL

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4. DPM shall be in accordance with NZS3604 (polyethylene sheet, min. 0.25mm). Do not use multiple layers. All penetrations through the DPM shall be sealed.
5. A layer of sand blinding or granular fines (GAP7) shall be placed and screeded over the building platform. The maximum thickness of this layer shall be no more than 50mm.
6. Polystyrene pods shall be 1100 x 1100 x 220mm or 1200 x 1200 x 220mm.
7. Edge beams and/or thickenings may be wider than shown (as necessary to accommodate off-cuts/wastage etc.). Add an additional HD12 in the bottom for every 100mm of additional concrete width.
8. The under slab insulation shown on these drawings is specified for insulation purposes only, as required by the 2023 NZBC H1 changes. It is not to be construed that Wilton Joubert Ltd is involved in the specification of the cladding for this property and any liability accrued under NZBC E2 is specifically excluded. It is the responsibility of others to ensure all weathertightness requirements are met, the product is fit for purpose, and durability requirements from NZBC B2 can be met.

CONCRETE

1. All concrete work and materials shall conform to NZS3109 and applicable building consent authority regulations.
2. Cuts shall be made to the floor where shown on the drawings.
3. Additional supplementary sawcuts no deeper than 15mm may be placed at 5m bays. Each bay length to width ratio shall be limited to 1.5:1.
4. Where concrete polishing are made to the floor, the floor thickness shall be increased such that the final topping depth is no less than that specified on the plans after all polishing. Highly recommended for supplementary sawcuts on polished or exposed concrete to be placed in 3m bays to reduce cracking, locations TBC by architect/ agent. Highly recommended to engage concrete specialist for advice on concrete placement, curing, and polishing, in order to achieve desirable finish with minimal cracking.
5. Where underfloor heating is installed, floor topping shall be increased to 110mm. Close attention and careful planning shall be taken to ensure no damage to underfloor heating (e.g. layout avoiding load bearing wall, sawcuts, etc.).
6. Unless otherwise noted, concrete shall be:
Raft/floor: Raftmix 20MPa minimum within exposure zone B & C.
Other concrete, footings: 20MPa minimum within exposure zone B & C.

REINFORCEMENT

1. Unless otherwise specified, all reinforcement shall be Ductility Class E, in accordance with NZS 4671.
2. All bend diameters shall comply with NZS 3109. Re-bending of reinforcement is not permitted. 'Spot' welding of reinforcement is not permitted.
3. All mesh reinforcement shall be Ductility Class E as per NZS4671
4. Unless otherwise specified by proprietary product specifications, mesh shall be lapped a minimum of 250mm or by a grid plus 50mm, whichever is greater.
5. Unless otherwise specified on plans, minimum covers are:
exposed to earth: 75mm
exposed to edge: 50mm
protected by damp proofing: 50mm
6. Unless otherwise specified, reinforcement laps are:

Reinforcement Grade	Nomination	min. lap when less than 300mm of concrete below steel	min. lap when more than 300mm of concrete below steel	concrete strength (MPa)
300	'D'	40Ø or min. 600mm (whichever is greater)	52Ø or min. 600mm (whichever is greater)	all blockfill, 20 and 25
500	'HD'	70Ø	91Ø	all blockfill
500	'HD'	56Ø	73Ø	20
500	'HD'	50Ø	65Ø	25

*Note: for lap of vertical bars, use values for "when less than 300mm of concrete below steel"

SITE CONDITIONS

1. Design based on soils report/assessment
By: Torlesse Limited Ref: T0566 Dated: 10 April 2025
Specifically: Design based on all unsuitable material removed and uniform non-expansive soils across building platform with a minimum ultimate bearing capacity of 200kPa, subject to engineer's confirmation.
2. In the absence of any other recommendation, a minimum of 100mm of compacted granular/hardfill layer extended min. 200mm beyond the building footprint (or as per notes 3 & 4 below) shall be placed under the slab to level the site and provide a durable working surface for temporary works.
3. Building platform, where filled above natural Existing Ground Level (EGL), shall be extended min.1000mm beyond the building footprint. Fill shall be placed and compacted in accordance to NZS 4431:1989. Fill exceeding 600mm deep above EGL shall be reviewed by author of geotechnical report or suitably qualified geotechnical engineer.
4. Where compacted fill (to replace excavated material) is required to form building platform, the excavation and backfill shall be extended past the building edge by at least the same depth that is being excavated or as per note 2 above, whichever is greater. Backfill shall be placed and compacted in accordance to NZS 4431:1989.
5. Confirm position & depth of all public pipes on the site, prior to any works. If different to the site plan then Wilton Joubert Ltd. shall be contacted.
6. Building foundation shall be outside of 45° influence line from the bottom of any public pipes, unless otherwise allowed for and shown in WJL Foundation Plan.
7. Building foundation shall be outside of 1V:1.5H influence line from the bottom of any retaining wall, unless otherwise allowed for and shown in WJL Foundation Plan.
8. Building foundation shall be outside of 1V:1.5H influence line from the bottom of any private underground tank, soakpit and pumps, unless otherwise allowed for and shown in WJL Foundation Plan.
9. Any excavation done for private drainage trenches MUST be backfilled and recompacted strictly as per NZBC Acceptable Solution G13/AS2.

INSPECTIONS

1. Check the BUILDING CONSENT CONDITIONS for any inspections that are required by the Building Consent Authority (BCA).
2. If BCA requires PS4 to be issued for inspections, a local engineer may be engaged to carry out such inspections and issue a PS4 accordingly.

**THE ENGINEER SHALL SUPERVISE
THE SPECIFIC ENGINEERING DESIGN
SUBMIT A PS4 SITE NOTES ON
COMPLETION BEFORE ISSUANCE OF
THE CODE COMPLIANCE
CERTIFICATE**

Designed for:



Wellington:
Andy Garvie
027 2000 377
andy@rfl.co.nz

- Do not scale from Drawings.
- All structural drawings are to be read in conjunction with architectural and all other relevant documentation. Any discrepancies shall be notified prior to any construction or fabrication.
- Prior to any works, the position & depth of all public pipes on the site shall be confirmed by authorized/qualified personnel. If different to the plans provided, Wilton Joubert Ltd. shall be contacted for possible redesigns.

No.	DESCRIPTION	DATE
2	Update plans	25.09.25
1	Wing wall footing revision	16.09.25

WILTON JOUBERT
Consulting Engineers
Northland: 09 945 4188 Christchurch: 021 624 063
Auckland: 09 527 0196 Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

SITE ADDRESS:
**Proposed Residence:
Units 5 - 8
Block A
15 Cambridge Place
Levin, Manawatu**

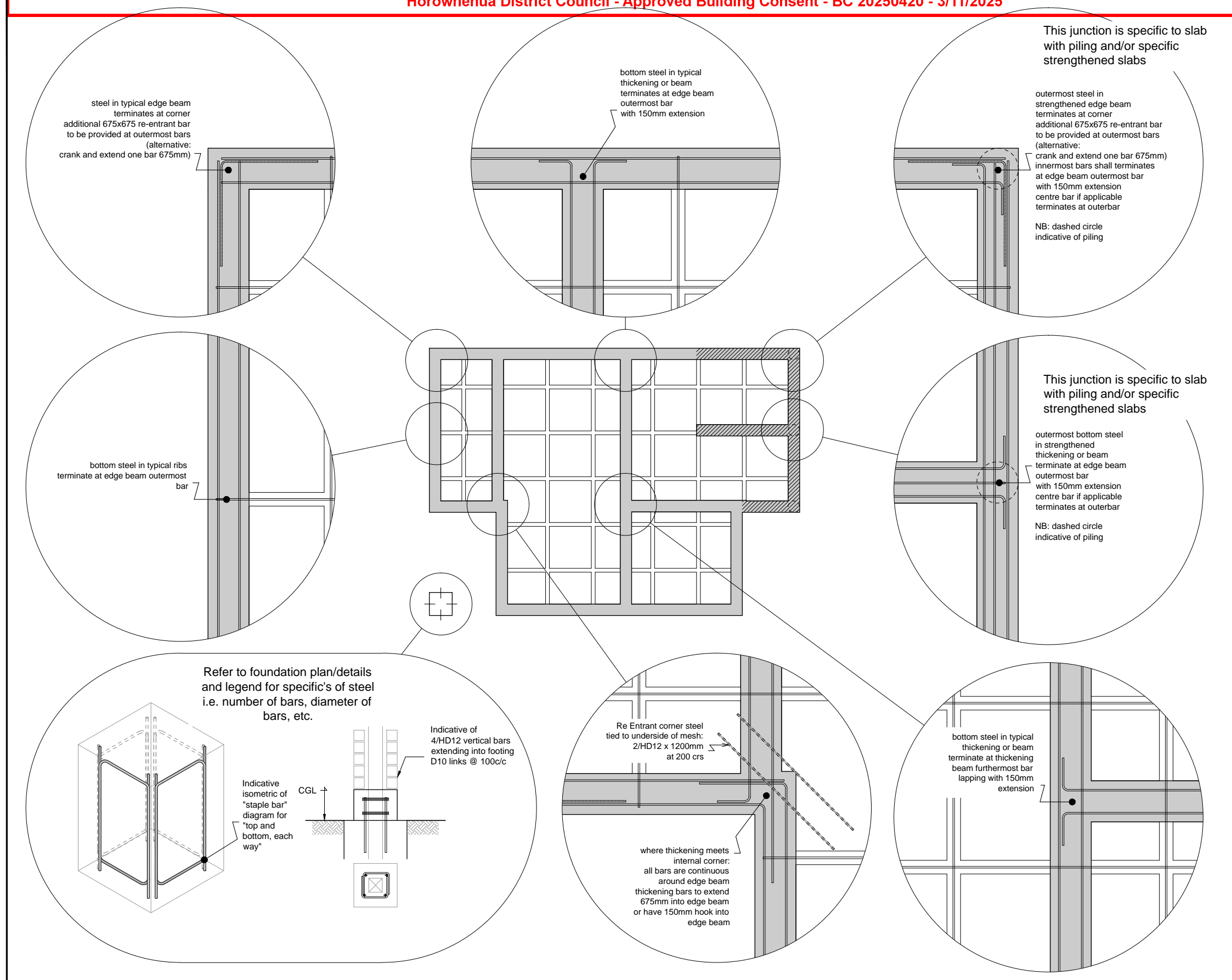
SHEET TITLE:
Cover Page

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100	ORIGINAL DRAWING SIZE: A3

Original Job #: Job # 142506	Sheet #: S0.1
Revision Job #: Rev02	

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Designed for:

RFL

Wellington:
Andy Garvie
027 2000 377
andy@rfl.co.nz

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1	Wing wall footing revision	16.09.25

REVISION

WILTON JOUBERT
Consulting Engineers
Northland: 09 945 4188 Christchurch: 021 824 063
Auckland: 09 527 0196 Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

SITE ADDRESS:

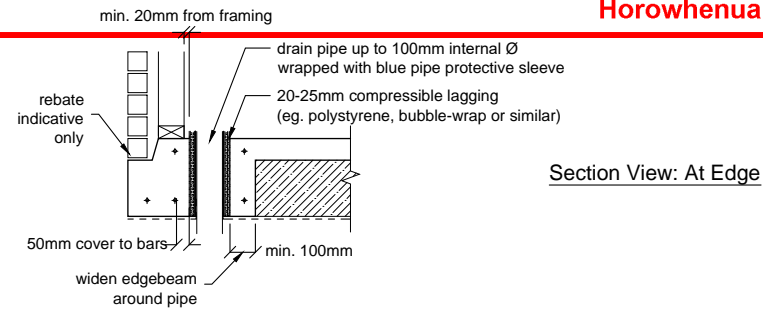
**Proposed Residence:
Units 5 - 8
Block A
15 Cambridge Place
Levin, Manawatu**

SHEET TITLE:
Typical Steel Detailing

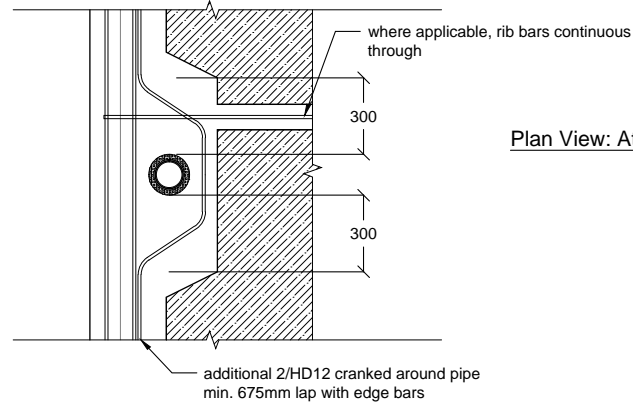
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CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
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Original Job #: Job # 142506	Sheet #: S0.2
Revision Job #: Rev02	

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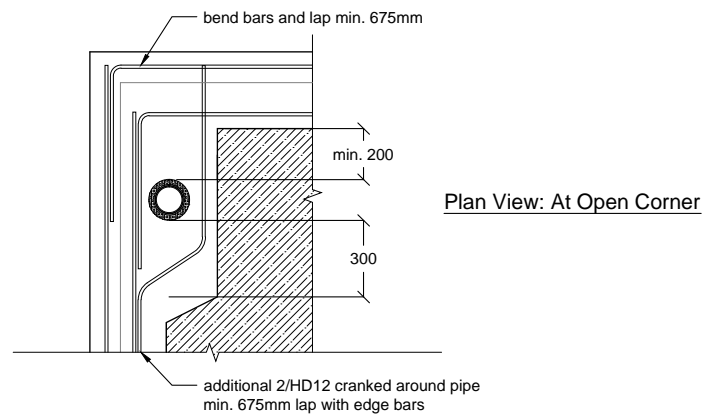
Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025



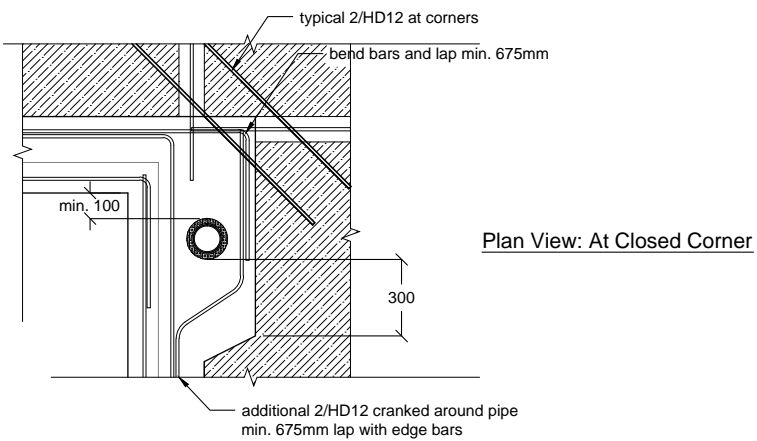
Section View: At Edge



Plan View: At Edge

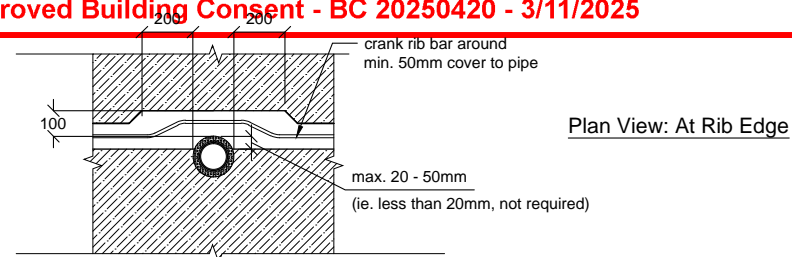


Plan View: At Open Corner

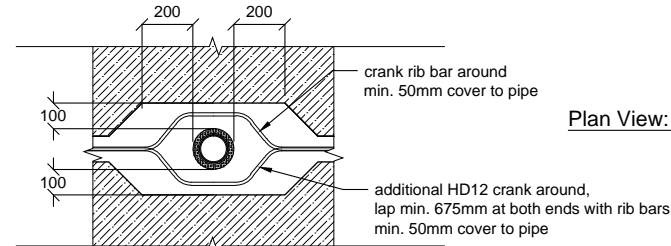


Plan View: At Closed Corner

Typical Detail Around Pipes
Raftfloor Edge Beam

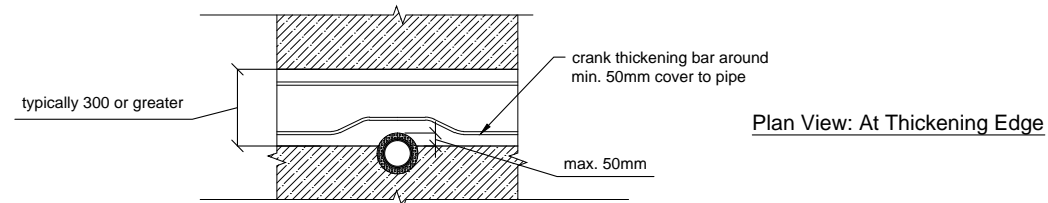


Plan View: At Rib Edge

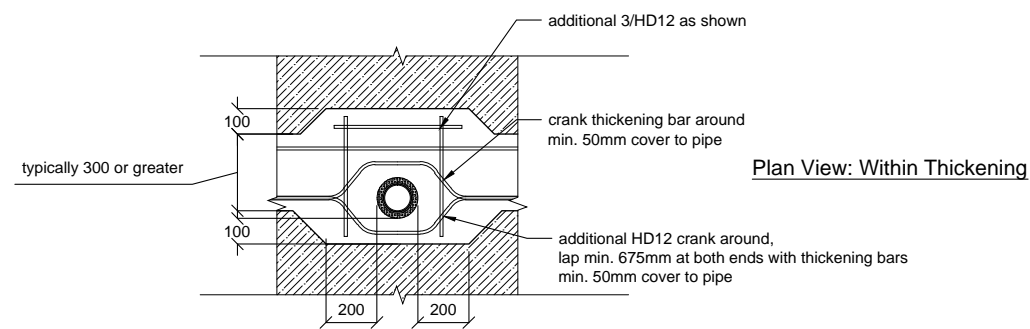


Plan View: Within Rib

Typical Detail Around Pipes
Raftfloor Internal Ribs



Plan View: At Thickening Edge



Plan View: Within Thickening

Typical Detail Around Pipes
Raftfloor Internal Thickenings

NOTES:

These details are applicable where plumbing/services are conveyed underground.
Services are to be taken through polystyrene pods as much as possible. If this is unavoidable, it may be taken through ribs/thickenings, provided the details (or similar in principle) on this sheet are used.

All service trench backfill shall be properly compacted.

Member sizes and reinforcing shown are indicative only, details shown on raftslab plan & details shall take precedence over the details shown here.

Designed for:



Wellington:
Andy Garvie
027 2000 377
andy@rfl.co.nz

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No.	DESCRIPTION	DATE
2	Update plans	25.09.25
1	Wing wall footing revision	16.09.25

WILTON JOUBERT
Consulting Engineers
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Auckland: 09 527 0196 Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

Proposed Residence:
Units 5 - 8
Block A
15 Cambridge Place
Levin, Manawatu

Typical Pipe Penetration Details

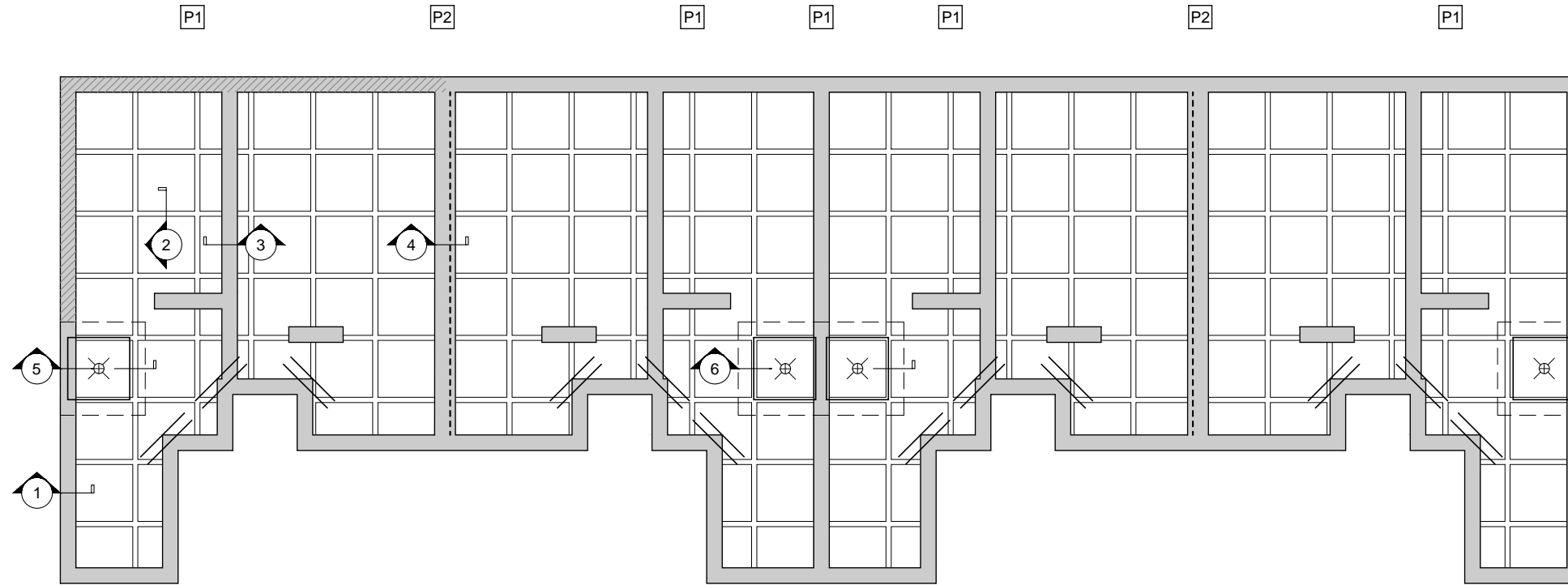
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CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100 & 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142506	Sheet #: S0.3
Revision Job #: Rev02	

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Indicative of soakage pit

Note:
Soakage pit shall be located such that the building foundation shall be outside of 1V:1.5H influence line from the invert of the soakage pit
Any excavations, if applicable, shall not compromise the building foundations and any backfill shall be properly compacted.
If contrary to this WJL shall be contacted for possible foundation redesign.



Block A
Raft Floor Plan
Scale 1:100

Legend:

- Re Entrant corner steel
2/HD12 x 1200mm
at 200 crs
- 6mm sawcut
100mm deep do not
cut into edge beam
- Shower setdown:
pods within area of shower + 300mm
are cut down by 50mm max
so as to maintain 85mm topping
HD12 trim around top.
Steel in ribs, thickenings and
edge beams continuous through
- 400² Post footing
set 400 deep or to suitable material,
whichever is deeper.
1/HD12 'staple' bars
each way, top & bottom (4 total).
refer to architectural dwg's
for post & fixings
(Extend footing 300mm below influence
if affected)
- 400² Post footing
set 500 deep or to suitable material,
whichever is deeper.
1/HD12 'staple' bars
each way, top & bottom (4 total).
refer to architectural dwg's
for post & fixings
(Extend footing 300mm below influence
if affected)
- Indicative location
of deepened edge beam
refer to detail -1a-

Designed for:



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andy@rfl.co.nz

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SITE ADDRESS:
**Proposed Residence:
Units 5 - 8
Block A
15 Cambridge Place
Levin, Manawatu**

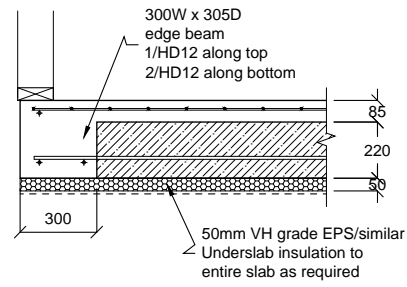
SHEET TITLE:
Raftfloor Plan

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142506	Sheet #: S1.1
Revision Job #: Rev02	

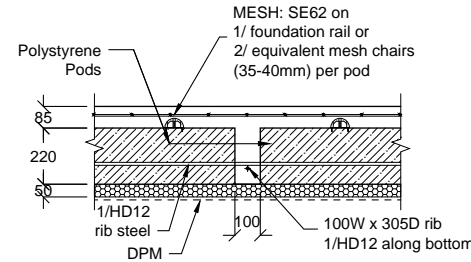
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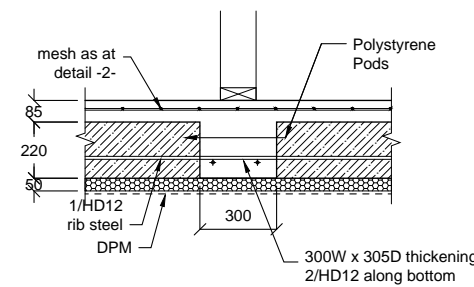
NOTE: Framing varies, refer to architectural plans.



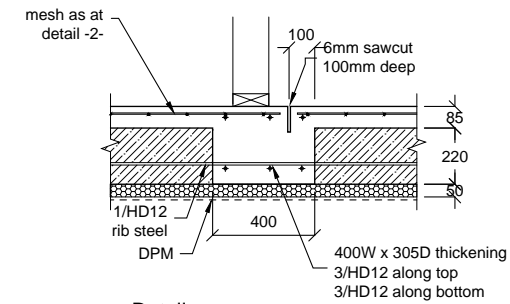
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Raftfloor Edge Beam - 300
Scale 1:25



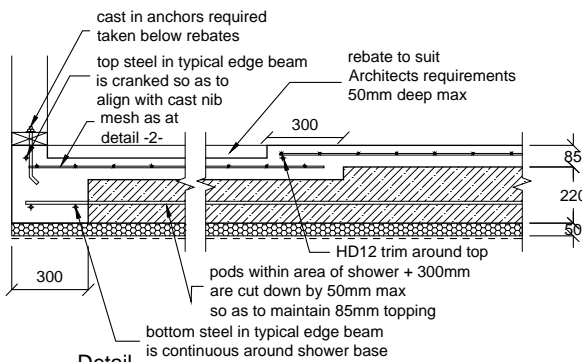
Detail
Raftfloor Internal Rib - 100
Scale 1:25



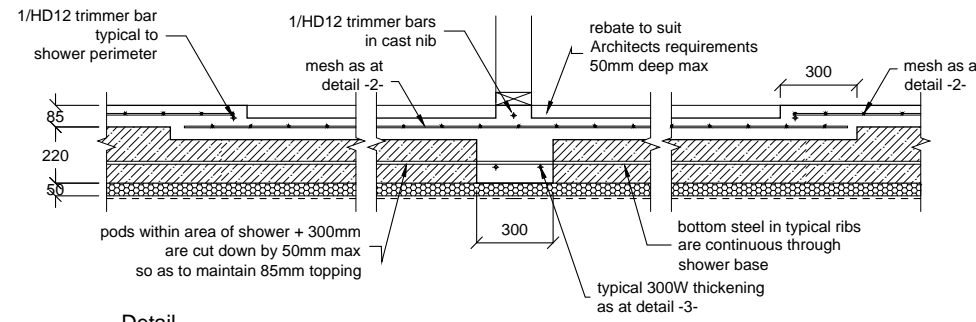
Detail
Raftfloor Internal Rib - 300
Scale 1:25



Detail
Raftfloor Internal Rib - 400 with Sawcut
Scale 1:25

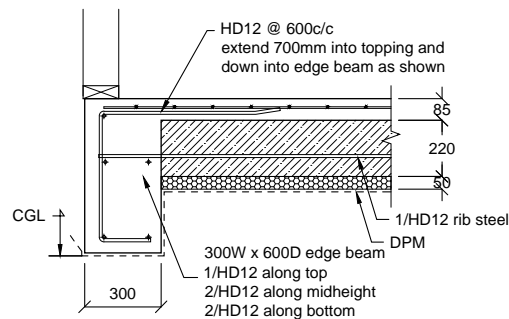


Detail
Raftfloor Shower Setdown at Edge Beam - 300
Scale 1:25



Detail
Raftfloor Shower Setdown
Scale 1:25

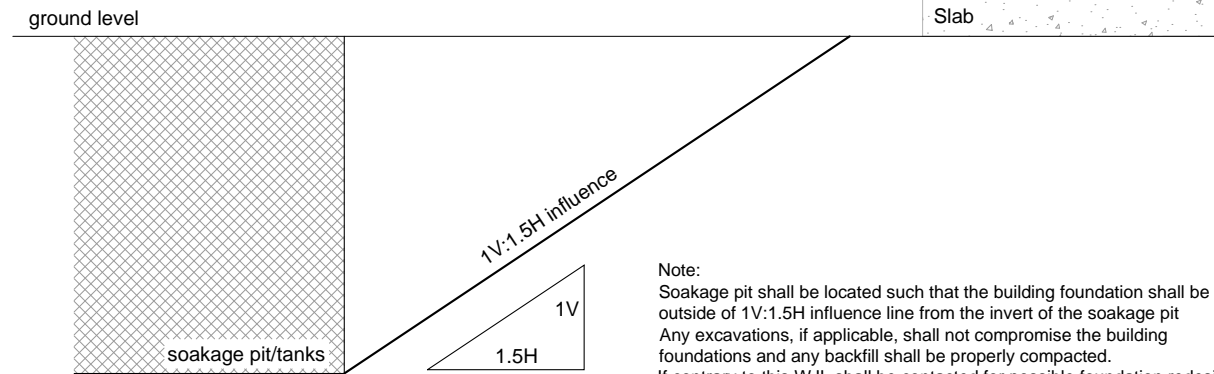
NOTE:
Allow for Ribs and or
Thickenings as may be shown on plan



NOTE:
Detail -1a- may be used where,
FFL is greater than 300mm above CGL
but less than 600mm above CGL

Detail
Deepened Edge Beam - 300
Scale 1:25

Note: soakage pit Influence Line requirement



Note:
Soakage pit shall be located such that the building foundation shall be outside of 1V:1.5H influence line from the invert of the soakage pit
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Designed for:



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andy@rfl.co.nz

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1	Wing wall footing revision	16.09.25

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www.wiltonjoubert.co.nz

Proposed Residence:
Units 5 - 8
Block A
15 Cambridge Place
Levin, Manawatu

SHEET TITLE:
Raftfloor Details

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142506	Sheet #: S2.1
Revision Job #: Rev02	

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6. Unless otherwise noted, concrete shall be:
Raft/floor: Raftmix 20MPa minimum within exposure zone B & C.
Other concrete, footings: 20MPa minimum within exposure zone B & C.

REINFORCEMENT

1. Unless otherwise specified, all reinforcement shall be Ductility Class E, in accordance with NZS 4671.
2. All bend diameters shall comply with NZS 3109. Re-bending of reinforcement is not permitted. 'Spot' welding of reinforcement is not permitted.
3. All mesh reinforcement shall be Ductility Class E as per NZS4671
4. Unless otherwise specified by proprietary product specifications, mesh shall be lapped a minimum of 250mm or by a grid plus 50mm, whichever is greater.
5. Unless otherwise specified on plans, minimum covers are:
exposed to earth: 75mm
exposed to edge: 50mm
protected by damp proofing: 50mm
6. Unless otherwise specified, reinforcement laps are:

Reinforcement Grade	Nomination	min. lap when less than 300mm of concrete below steel	min. lap when more than 300mm of concrete below steel	concrete strength (MPa)
300	'D'	40Ø or min. 600mm (whichever is greater)	52Ø or min. 600mm (whichever is greater)	all blockfill, 20 and 25
500	'HD'	70Ø	91Ø	all blockfill
500	'HD'	56Ø	73Ø	20
500	'HD'	50Ø	65Ø	25

*Note: for lap of vertical bars, use values for "when less than 300mm of concrete below steel"

SITE CONDITIONS

1. Design based on soils report/assessment
By: Torlesse Limited Ref: T0566 Dated: 10 April 2025
Specifically: Design based on all unsuitable material removed and uniform non-expansive soils across building platform with a minimum ultimate bearing capacity of 200kPa, subject to engineer's confirmation.
2. In the absence of any other recommendation, a minimum of 100mm of compacted granular/hardfill layer extended min. 200mm beyond the building footprint (or as per notes 3 & 4 below) shall be placed under the slab to level the site and provide a durable working surface for temporary works.
3. Building platform, where filled above natural Existing Ground Level (EGL), shall be extended min.1000mm beyond the building footprint. Fill shall be placed and compacted in accordance to NZS 4431:1989. Fill exceeding 600mm deep above EGL shall be reviewed by author of geotechnical report or suitably qualified geotechnical engineer.
4. Where compacted fill (to replace excavated material) is required to form building platform, the excavation and backfill shall be extended past the building edge by at least the same depth that is being excavated or as per note 2 above, whichever is greater. Backfill shall be placed and compacted in accordance to NZS 4431:1989.
5. Confirm position & depth of all public pipes on the site, prior to any works. If different to the site plan then Wilton Joubert Ltd. shall be contacted.
6. Building foundation shall be outside of 45° influence line from the bottom of any public pipes, unless otherwise allowed for and shown in WJL Foundation Plan.
7. Building foundation shall be outside of 1V:1.5H influence line from the bottom of any retaining wall, unless otherwise allowed for and shown in WJL Foundation Plan.
8. Building foundation shall be outside of 1V:1.5H influence line from the bottom of any private underground tank, soakpit and pumps, unless otherwise allowed for and shown in WJL Foundation Plan.
9. Any excavation done for private drainage trenches MUST be backfilled and recompacted strictly as per NZBC Acceptable Solution G13/AS2.

INSPECTIONS

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2. If BCA requires PS4 to be issued for inspections, a local engineer may be engaged to carry out such inspections and issue a PS4 accordingly.

Designed for:



Wellington:
Andy Garvie
027 2000 377
andy@rfl.co.nz

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- Prior to any works, the position & depth of all public pipes on the site shall be confirmed by authorized/qualified personnel. If different to the plans provided, Wilton Joubert Ltd. shall be contacted for possible redesigns.

No.	DESCRIPTION	DATE
2	Update plans	25.09.25
1	Wing wall footing revision	16.09.25

WILTON JOUBERT
Consulting Engineers
Northland: 09 945 4188 Christchurch: 021 824 063
Auckland: 09 527 0196 Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

SITE ADDRESS:
**Proposed Residence:
Units 17 - 19
Block B
15 Cambridge Place
Levin, Manawatu**

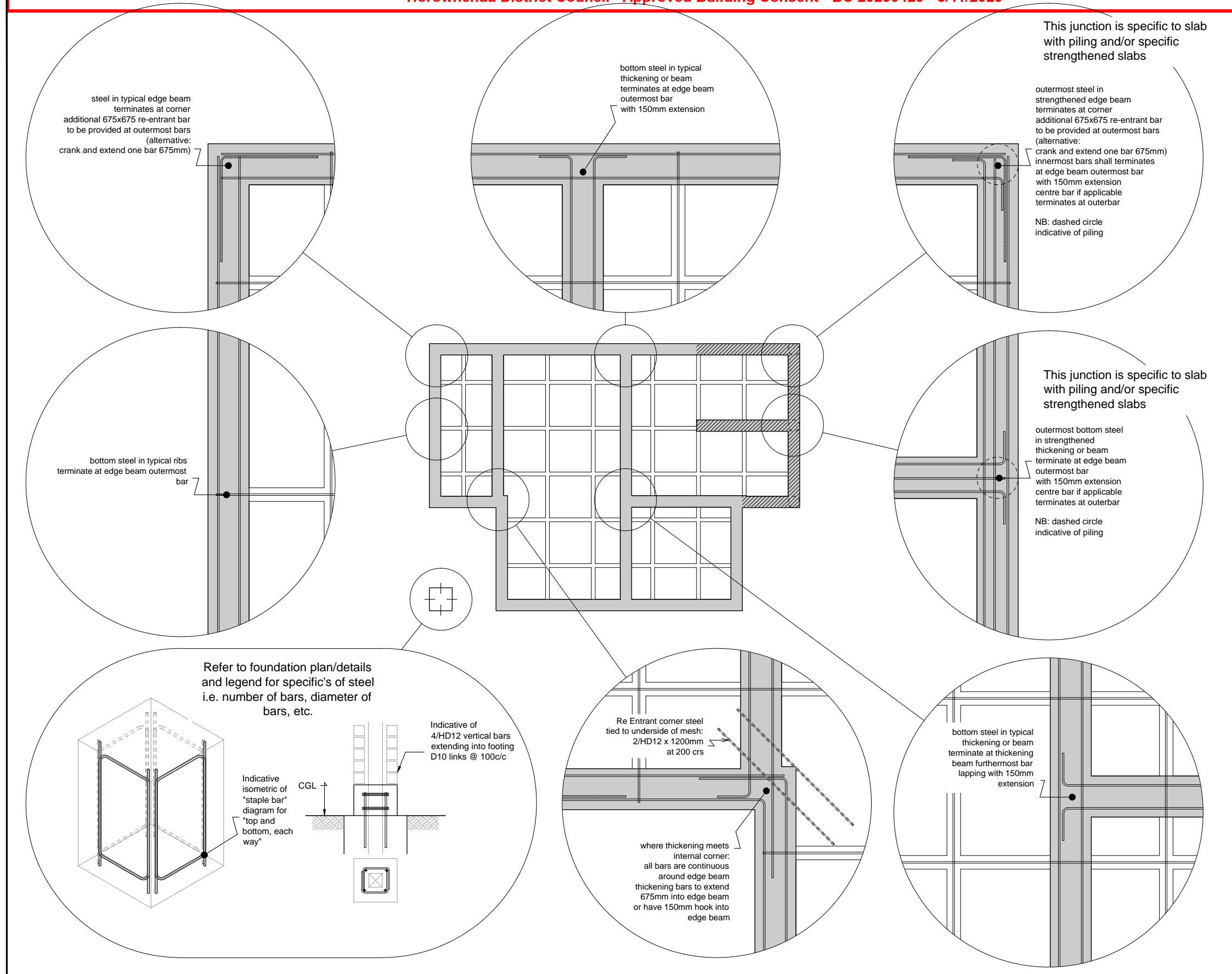
SHEET TITLE:
Cover Page

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100	ORIGINAL DRAWING SIZE: A3

Original Job #: Job # 142507	Sheet #: S0.1
Revision Job #: Rev02	

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Designed for:

RFL

Wellington:
Andy Garvie
027 2000 377
andy@rfl.co.nz

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No.	DESCRIPTION	DATE
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REVISION

WILTON JOUBERT
Consulting Engineers
Northland: 09 945 4188 Christchurch: 021 824 063
Auckland: 09 527 0196 Southern Lakes: 03 443 6209
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SITE ADDRESS:

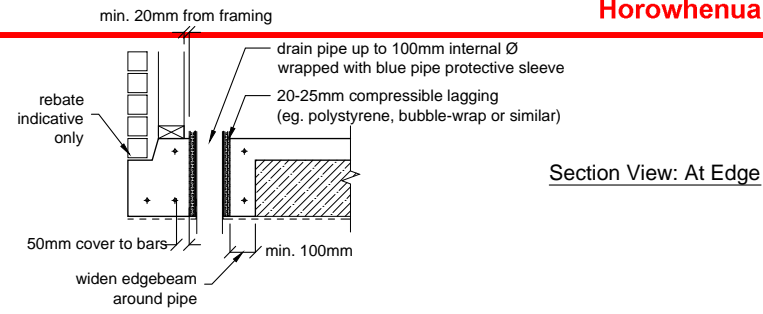
**Proposed Residence:
Units 17 - 19
Block B
15 Cambridge Place
Levin, Manawatu**

SHEET TITLE:
Typical Steel Detailing

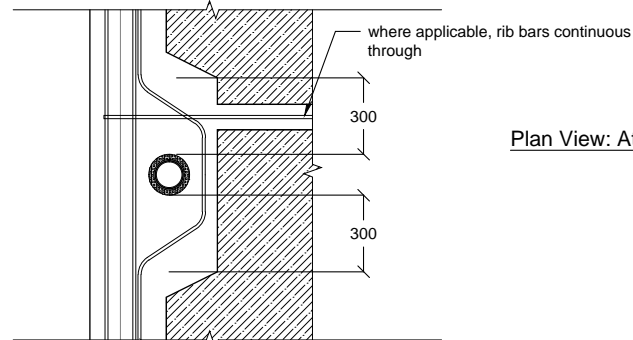
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CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100 & 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142507	Sheet #: S0.2
Revision Job #: Rev02	

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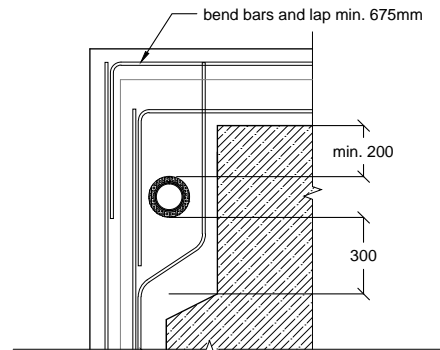
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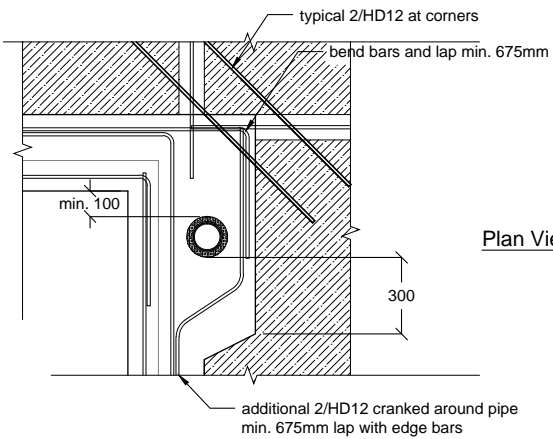
Section View: At Edge



Plan View: At Edge

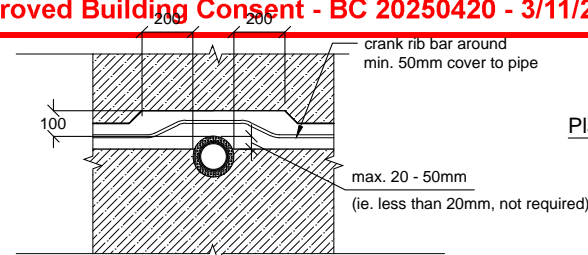


Plan View: At Open Corner

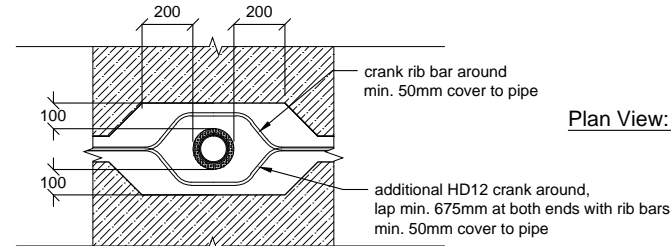


Plan View: At Closed Corner

Typical Detail Around Pipes
Raftfloor Edge Beam

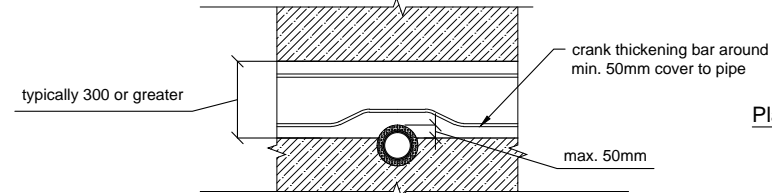


Plan View: At Rib Edge

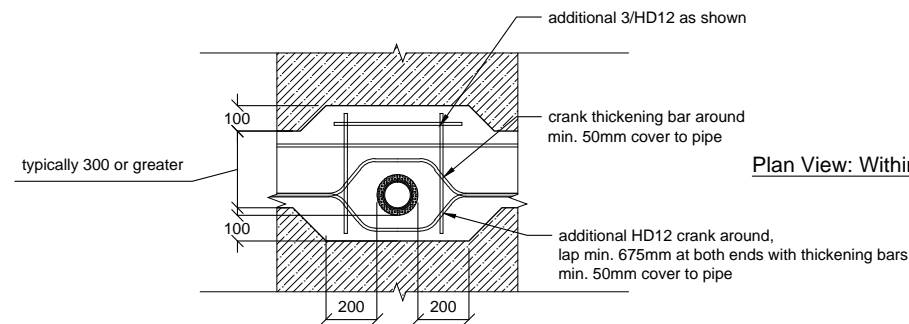


Plan View: Within Rib

Typical Detail Around Pipes
Raftfloor Internal Ribs



Plan View: At Thickening Edge



Plan View: Within Thickening

Typical Detail Around Pipes
Raftfloor Internal Thickenings

NOTES:

These details are applicable where plumbing/services are conveyed underground.
Services are to be taken through polystyrene pods as much as possible. If this is unavoidable, it may be taken through ribs/thickenings, provided the details (or similar in principle) on this sheet are used.

All service trench backfill shall be properly compacted.

Member sizes and reinforcing shown are indicative only, details shown on raftslab plan & details shall take precedence over the details shown here.

Designed for:



Wellington:
Andy Garvie
027 2000 377
andy@rfl.co.nz

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No.	DESCRIPTION	DATE
2	Update plans	25.09.25
1	Wing wall footing revision	16.09.25

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www.wiltonjoubert.co.nz

Proposed Residence:
**Units 17 - 19
Block B
15 Cambridge Place
Levin, Manawatu**

SHEET TITLE:
Typical Pipe Penetration Details

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100 & 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142507	Sheet #: S0.3
Revision Job #: Rev02	

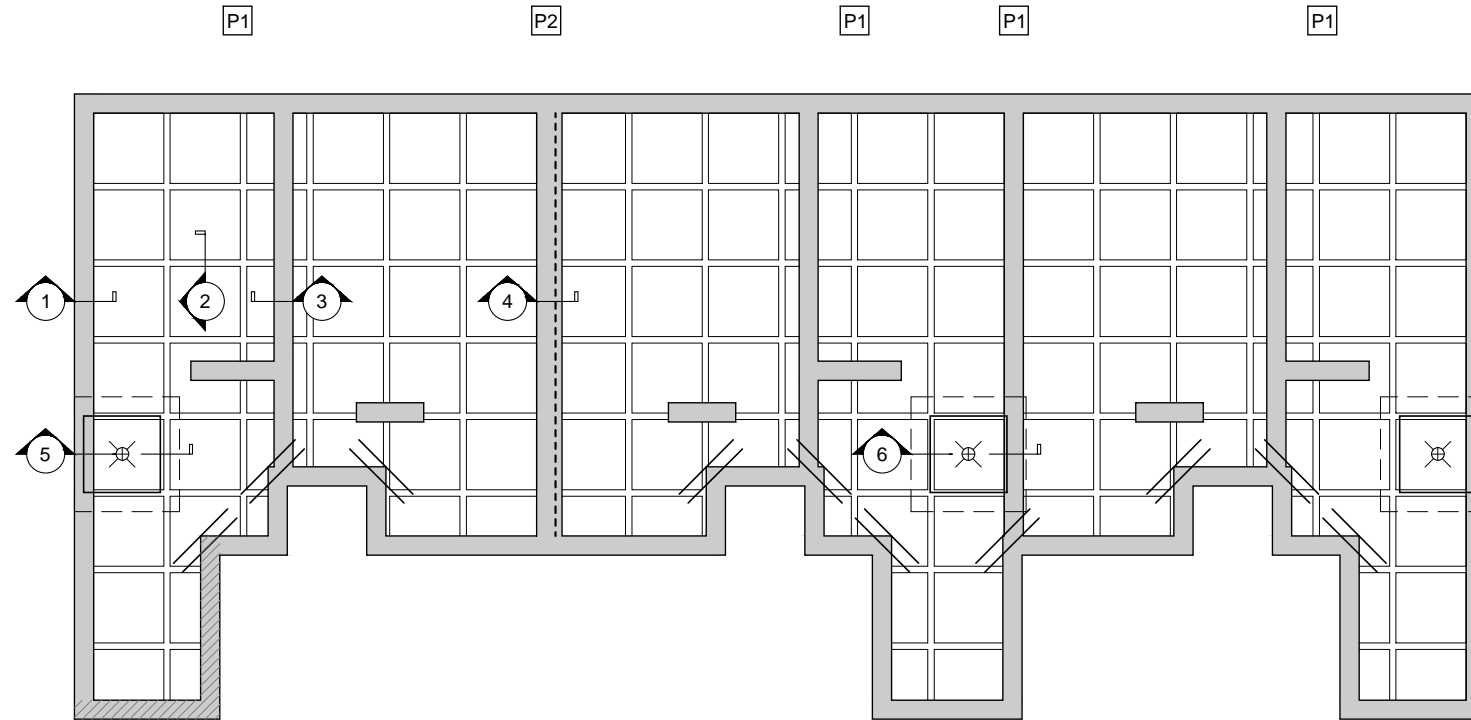
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Note:

Soakage pit shall be located such that the building foundation shall be outside of 1V:1.5H influence line from the invert of the soakage pit
Any excavations, if applicable, shall not compromise the building foundations and any backfill shall be properly compacted.
If contrary to this WJL shall be contacted for possible foundation redesign.

Indicative of soakage pit



Block B
Raft Floor Plan
Scale 1:100

Legend:

- Re Entrant corner steel
2/HD12 x 1200mm
at 200 crs
- 6mm sawcut
100mm deep do not
cut into edge beam
- Shower setdown:
pods within area of shower + 300mm
are cut down by 50mm max
so as to maintain 85mm topping
HD12 trim around top.
Steel in ribs, thickenings and
edge beams continuous through
- 400² Post footing
set 400 deep or to suitable material,
whichever is deeper.
1/HD12 'staple' bars
each way, top & bottom (4 total).
refer to architectural dwg's
for post & fixings
(Extend footing 300mm below influence
if affected)
- 500² Post footing
set 500 deep or to suitable material,
whichever is deeper.
1/HD12 'staple' bars
each way, top & bottom (4 total).
refer to architectural dwg's
for post & fixings
(Extend footing 300mm below influence
if affected)
- Indicative location
of deepened edge beam
refer to detail -1a-

Designed for:



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027 2000 377
andy@rfl.co.nz

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Proposed Residence:
Units 17 - 19
Block B
15 Cambridge Place
Levin, Manawatu

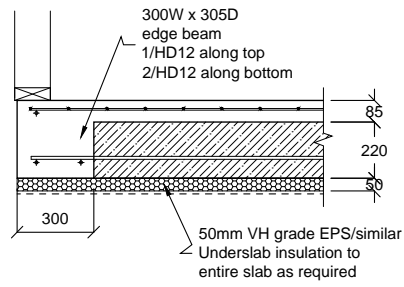
SHEET TITLE:
Raftfloor Plan

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142507	Sheet #: S1.1
Revision Job #: Rev02	

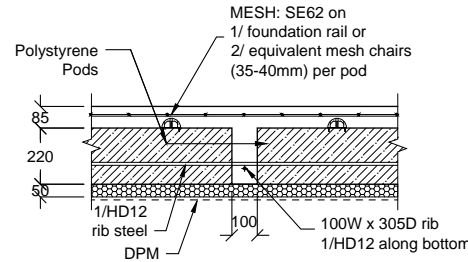
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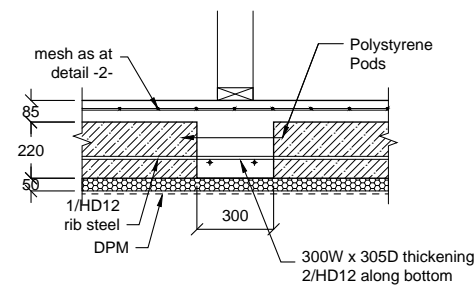
NOTE: Framing varies, refer to architectural plans.



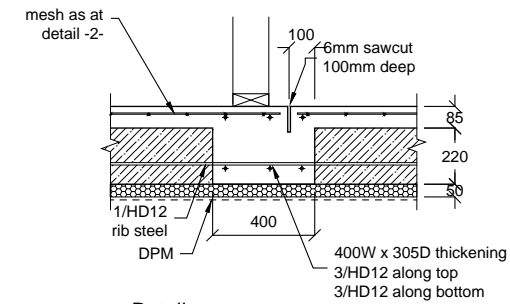
Detail
Raftfloor Edge Beam - 300
Scale 1:25



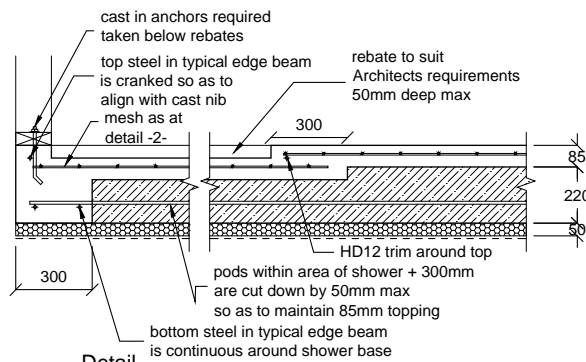
Detail
Raftfloor Internal Rib - 100
Scale 1:25



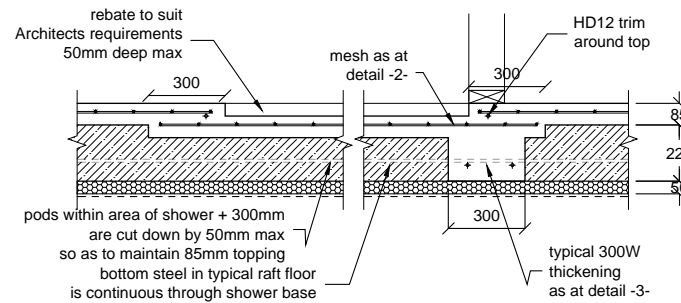
Detail
Raftfloor Internal Rib - 300
Scale 1:25



Detail
Raftfloor Internal Rib - 400 with
Sawcut
Scale 1:25

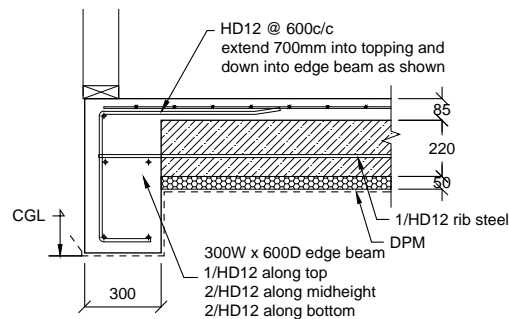


Detail
Raftfloor Shower Setdown at
Edge Beam - 300
Scale 1:25



Detail
Raftfloor Shower Setdown
Scale 1:25

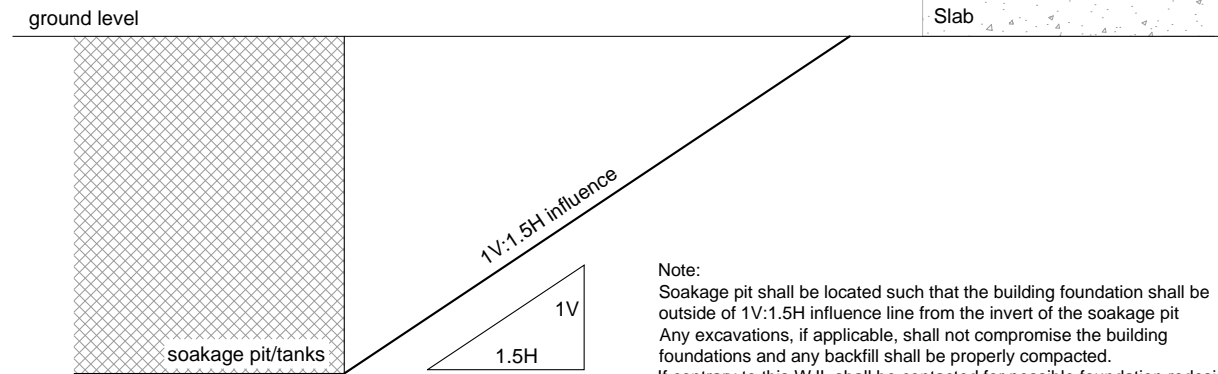
NOTE:
Allow for Ribs and or
Thickenings as may be shown on plan



NOTE:
Detail -1a- may be used where,
FFL is greater than 300mm above CGL
but less than 600mm above CGL

Detail
Deepened Edge Beam - 300
Scale 1:25

Note: soakage pit Influence Line requirement



Designed for:



Wellington:
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027 2000 377
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1	Wing wall footing revision	16.09.25

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www.wiltonjoubert.co.nz

Proposed Residence:
Units 17 - 19
Block B
15 Cambridge Place
Levin, Manawatu

SHEET TITLE:
Raftfloor Details

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142507	Sheet #: S2.1
Revision Job #: Rev02	

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GENERAL

1. Do not scale from drawings. These drawings are to be read in conjunction with the architectural drawings and all other related documents. Refer to architectural drawings for dimensions, rebates & recesses.
2. Contact the architect/engineer if any discrepancies are found.
3. Under no circumstances shall polystyrene spacers be used. Use recommended spacers as per details provided.
4. DPM shall be in accordance with NZS3604 (polyethylene sheet, min. 0.25mm). Do not use multiple layers. All penetrations through the DPM shall be sealed.
5. A layer of sand blinding or granular fines (GAP7) shall be placed and screeded over the building platform. The maximum thickness of this layer shall be no more than 50mm.
6. Polystyrene pods shall be 1100 x 1100 x 220mm or 1200 x 1200 x 220mm.
7. Edge beams and/or thickenings may be wider than shown (as necessary to accommodate off-cuts/wastage etc.). Add an additional HD12 in the bottom for every 100mm of additional concrete width.
8. The under slab insulation shown on these drawings is specified for insulation purposes only, as required by the 2023 NZBC H1 changes. It is not to be construed that Wilton Joubert Ltd is involved in the specification of the cladding for this property and any liability accrued under NZBC E2 is specifically excluded. It is the responsibility of others to ensure all weathertightness requirements are met, the product is fit for purpose, and durability requirements from NZBC B2 can be met.

CONCRETE

1. All concrete work and materials shall conform to NZS3109 and applicable building consent authority regulations.
2. Cuts shall be made to the floor where shown on the drawings.
3. Additional supplementary sawcuts no deeper than 15mm may be placed at 5m bays. Each bay length to width ratio shall be limited to 1.5:1.
4. Where concrete polishing are made to the floor, the floor thickness shall be increased such that the final topping depth is no less than that specified on the plans after all polishing. Highly recommended for supplementary sawcuts on polished or exposed concrete to be placed in 3m bays to reduce cracking, locations TBC by architect/ agent. Highly recommended to engage concrete specialist for advice on concrete placement, curing, and polishing, in order to achieve desirable finish with minimal cracking.
5. Where underfloor heating is installed, floor topping shall be increased to 110mm. Close attention and careful planning shall be taken to ensure no damage to underfloor heating (e.g. layout avoiding load bearing wall, sawcuts, etc.).
6. Unless otherwise noted, concrete shall be:
Raft/floor: Raftmix 20MPa minimum within exposure zone B & C.
Other concrete, footings: 20MPa minimum within exposure zone B & C.

REINFORCEMENT

1. Unless otherwise specified, all reinforcement shall be Ductility Class E, in accordance with NZS 4671.
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By: Torlesse Limited Ref: T0566 Dated: 10 April 2025
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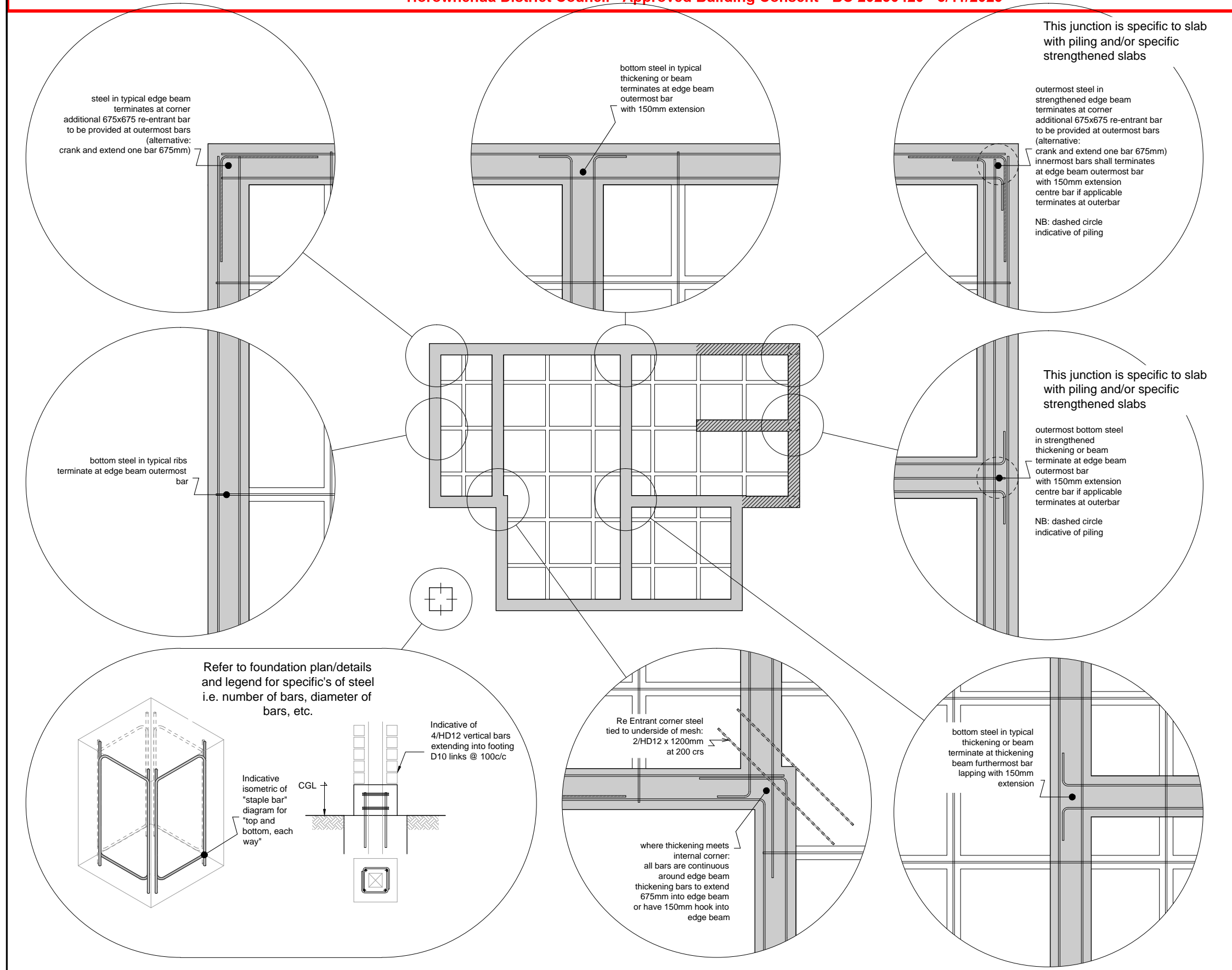
SITE ADDRESS:
**Proposed Residence:
Units 25 - 26
Block C
15 Cambridge Place
Levin, Manawatu**

SHEET TITLE:
Cover Page

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142508	Sheet #: S0.1
Revision Job #: Rev02	

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Designed for:

RFL

Wellington:
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027 2000 377
andy@rfl.co.nz

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SITE ADDRESS:

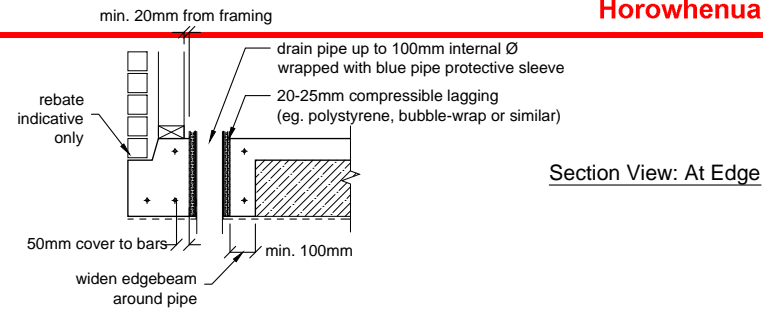
**Proposed Residence:
Units 25 - 26
Block C
15 Cambridge Place
Levin, Manawatu**

SHEET TITLE:
Typical Steel Detailing

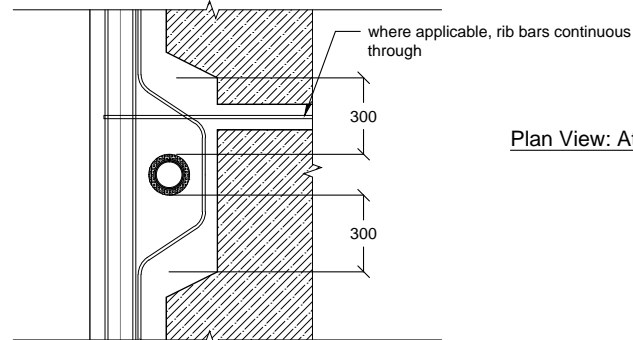
DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100 & 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142508	Sheet #: S0.2
Revision Job #: Rev02	

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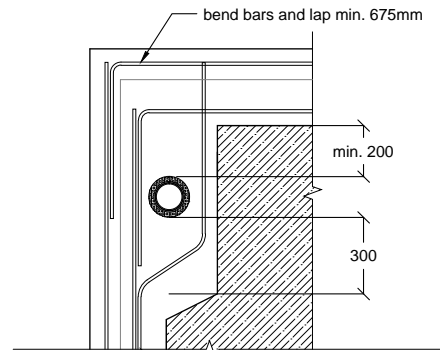
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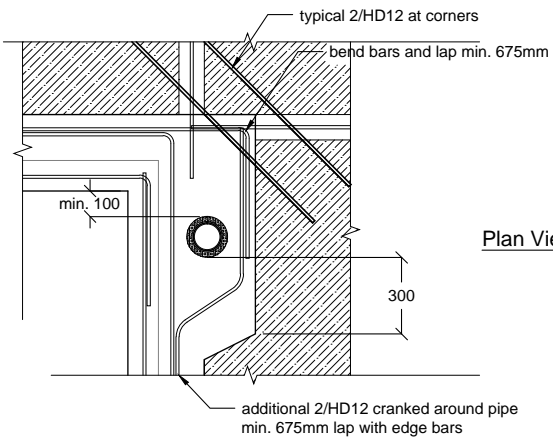
Section View: At Edge



Plan View: At Edge

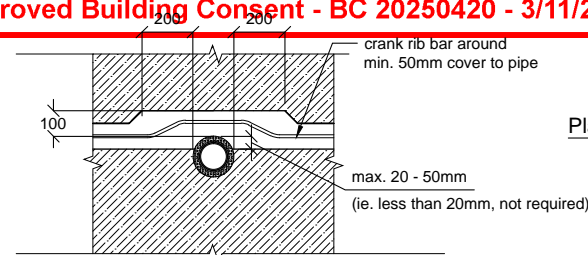


Plan View: At Open Corner

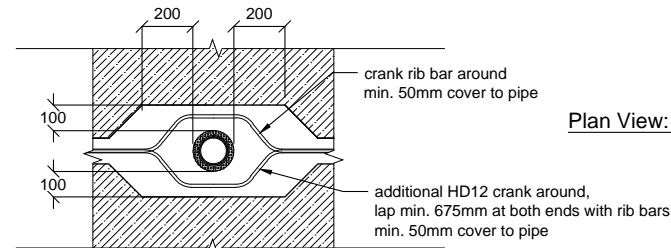


Plan View: At Closed Corner

Typical Detail Around Pipes
Raftfloor Edge Beam

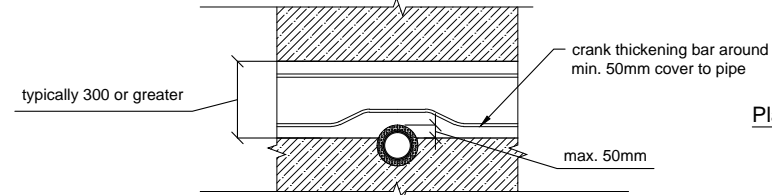


Plan View: At Rib Edge

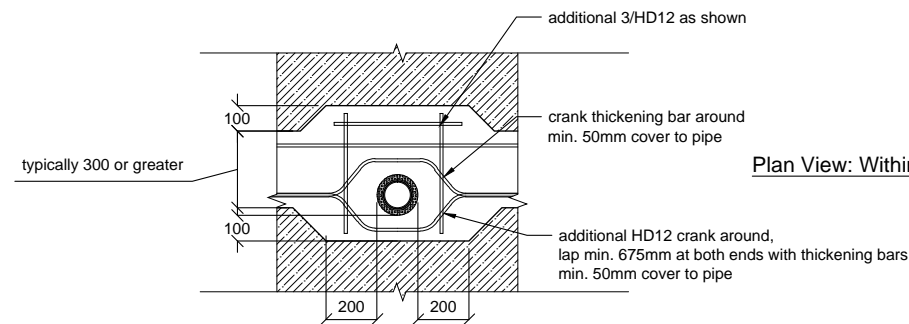


Plan View: Within Rib

Typical Detail Around Pipes
Raftfloor Internal Ribs



Plan View: At Thickening Edge



Plan View: Within Thickening

Typical Detail Around Pipes
Raftfloor Internal Thickenings

NOTES:

These details are applicable where plumbing/services are conveyed underground.
Services are to be taken through polystyrene pods as much as possible. If this is unavoidable, it may be taken through ribs/thickenings, provided the details (or similar in principle) on this sheet are used.

All service trench backfill shall be properly compacted.

Member sizes and reinforcing shown are indicative only, details shown on raftslab plan & details shall take precedence over the details shown here.

Designed for:



Wellington:
Andy Garvie
027 2000 377
andy@rfl.co.nz

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No.	DESCRIPTION	DATE
2	Update plans	25.09.25
1	Wing wall footing revision	16.09.25

WILTON JOUBERT
Consulting Engineers
Northland: 09 945 4188 Christchurch: 021 824 063
Auckland: 09 527 0196 Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

Proposed Residence:
**Units 25 - 26
Block C
15 Cambridge Place
Levin, Manawatu**

SHEET TITLE:
Typical Pipe Penetration Details

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100 & 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142508	Sheet #: S0.3
Revision Job #: Rev02	






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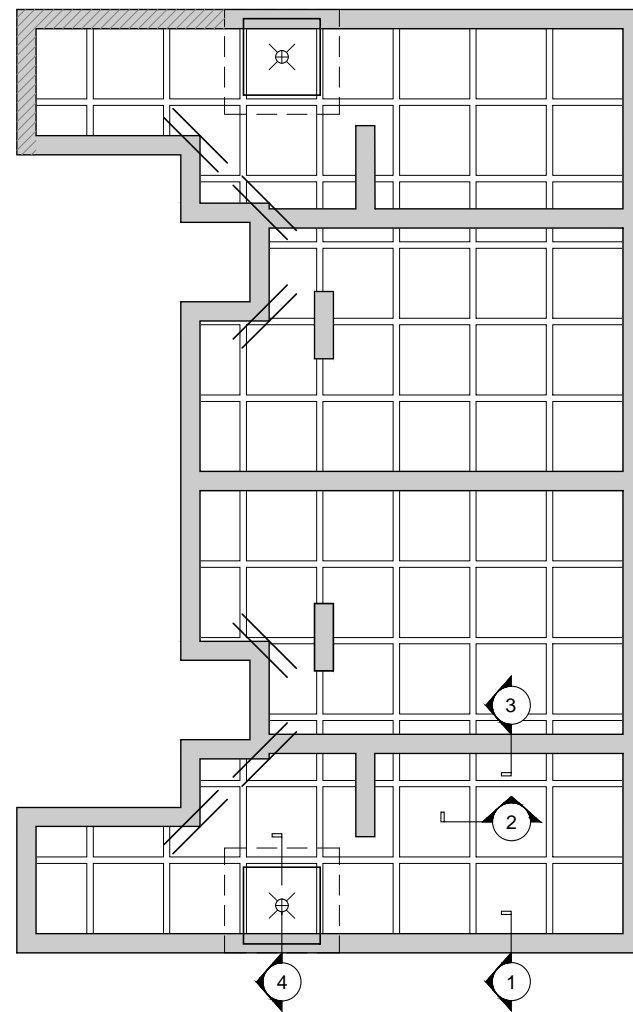
Note:

Soakage pit shall be located such that the building foundation shall be outside of 1V:1.5H influence line from the invert of the soakage pit
Any excavations, if applicable, shall not compromise the building foundations and any backfill shall be properly compacted.
If contrary to this WJL shall be contacted for possible foundation redesign.

Legend:

-  Re Entrant corner steel
2/HD12 x 1200mm
at 200 crs
-  Shower setdown:
pods within area of shower + 300mm
are cut down by 50mm max
so as to maintain 85mm topping
HD12 trim around top.
Steel in ribs, thickenings and
edge beams continuous through
-  400² Post footing
set 400 deep or to suitable material,
whichever is deeper.
1/HD12 'staple' bars
each way, top & bottom (4 total).
refer to architectural dwg's
for post & fixings
-  400² Post footing
set 500 deep or to suitable material,
whichever is deeper.
1/HD12 'staple' bars
each way, top & bottom (4 total).
refer to architectural dwg's
for post & fixings
-  Indicative location
of deepened edge beam
refer to detail -1a-

Indicative of soakage pit



Block C - Units 25 & 26
Raft Floor Plan

Scale 1:100

Designed for:



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027 2000 377
andy@rfl.co.nz

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SITE ADDRESS:
**Proposed Residence:
Units 25 - 26
Block C
15 Cambridge Place
Levin, Manawatu**

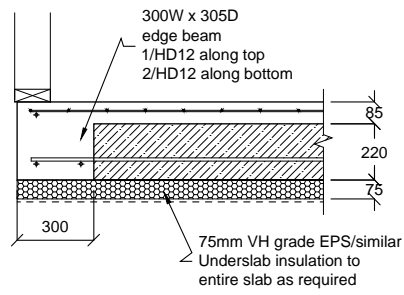
SHEET TITLE:
Raftfloor Plan

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142508	Sheet #: S1.1
Revision Job #: Rev02	

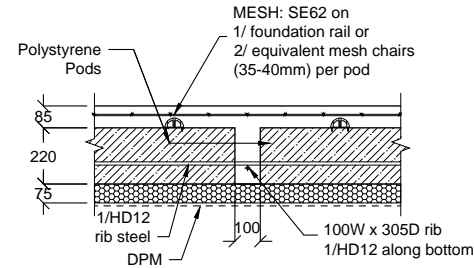
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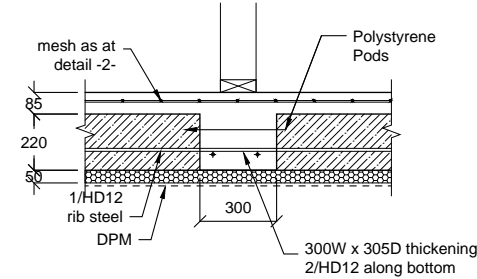
NOTE: Framing varies, refer to architectural plans.



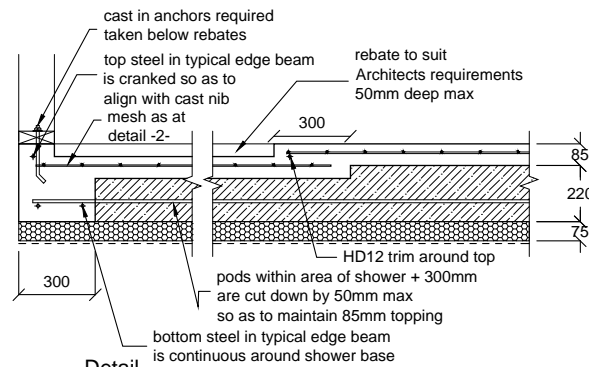
Detail
Raftfloor Edge Beam - 300
Scale 1:25



Detail
Raftfloor Internal Rib - 100
Scale 1:25

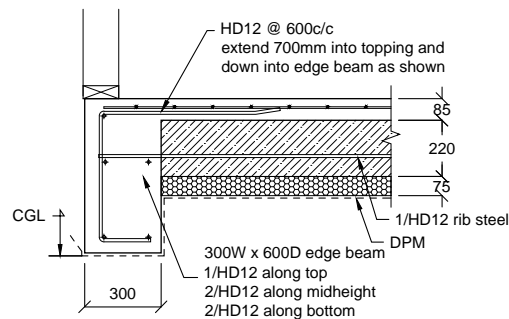


Detail
Raftfloor Internal Rib - 300
Scale 1:25



Detail
Raftfloor Shower Setdown at
Edge Beam - 300
Scale 1:25

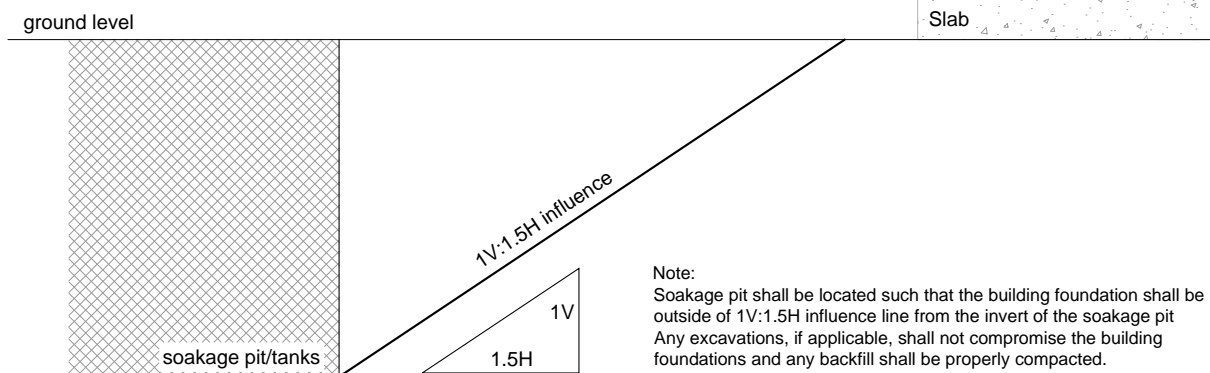
NOTE:
Allow for Ribs and or
Thickenings as may be shown on plan



NOTE:
Detail -1a- may be used where,
FFL is greater than 300mm above CGL
but less than 600mm above CGL

Detail
Deepened Edge Beam - 300
Scale 1:25

Note: soakage pit Influence Line requirement



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Proposed Residence:
Units 25 - 26
Block C
15 Cambridge Place
Levin, Manawatu

SHEET TITLE:
Raftfloor Details

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142508	Sheet #: S2.1
Revision Job #: Rev02	

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GENERAL

1. Do not scale from drawings. These drawings are to be read in conjunction with the architectural drawings and all other related documents. Refer to architectural drawings for dimensions, rebates & recesses.
2. Contact the architect/engineer if any discrepancies are found.
3. Under no circumstances shall polystyrene spacers be used. Use recommended spacers as per details provided.
4. DPM shall be in accordance with NZS3604 (polyethylene sheet, min. 0.25mm). Do not use multiple layers. All penetrations through the DPM shall be sealed.
5. A layer of sand blinding or granular fines (GAP7) shall be placed and screeded over the building platform. The maximum thickness of this layer shall be no more than 50mm.
6. Polystyrene pods shall be 1100 x 1100 x 220mm or 1200 x 1200 x 220mm.
7. Edge beams and/or thickenings may be wider than shown (as necessary to accommodate off-cuts/wastage etc.). Add an additional HD12 in the bottom for every 100mm of additional concrete width.
8. The under slab insulation shown on these drawings is specified for insulation purposes only, as required by the 2023 NZBC H1 changes. It is not to be construed that Wilton Joubert Ltd is involved in the specification of the cladding for this property and any liability accrued under NZBC E2 is specifically excluded. It is the responsibility of others to ensure all weathertightness requirements are met, the product is fit for purpose, and durability requirements from NZBC B2 can be met.

CONCRETE

1. All concrete work and materials shall conform to NZS3109 and applicable building consent authority regulations.
2. Cuts shall be made to the floor where shown on the drawings.
3. Additional supplementary sawcuts no deeper than 15mm may be placed at 5m bays. Each bay length to width ratio shall be limited to 1.5:1.
4. Where concrete polishing are made to the floor, the floor thickness shall be increased such that the final topping depth is no less than that specified on the plans after all polishing. Highly recommended for supplementary sawcuts on polished or exposed concrete to be placed in 3m bays to reduce cracking, locations TBC by architect/ agent. Highly recommended to engage concrete specialist for advice on concrete placement, curing, and polishing, in order to achieve desirable finish with minimal cracking.
5. Where underfloor heating is installed, floor topping shall be increased to 110mm. Close attention and careful planning shall be taken to ensure no damage to underfloor heating (e.g. layout avoiding load bearing wall, sawcuts, etc.).
6. Unless otherwise noted, concrete shall be:
Raft/floor: Raftmix 20MPa minimum within exposure zone B & C.
Other concrete, footings: 20MPa minimum within exposure zone B & C.

REINFORCEMENT

1. Unless otherwise specified, all reinforcement shall be Ductility Class E, in accordance with NZS 4671.
2. All bend diameters shall comply with NZS 3109. Re-bending of reinforcement is not permitted. 'Spot' welding of reinforcement is not permitted.
3. All mesh reinforcement shall be Ductility Class E as per NZS4671
4. Unless otherwise specified by proprietary product specifications, mesh shall be lapped a minimum of 250mm or by a grid plus 50mm, whichever is greater.
5. Unless otherwise specified on plans, minimum covers are:
exposed to earth: 75mm
exposed to edge: 50mm
protected by damp proofing: 50mm
6. Unless otherwise specified, reinforcement laps are:

Reinforcement Grade	Nomination	min. lap when less than 300mm of concrete below steel	min. lap when more than 300mm of concrete below steel	concrete strength (MPa)
300	'D'	40Ø or min. 600mm (whichever is greater)	52Ø or min. 600mm (whichever is greater)	all blockfill, 20 and 25
500	'HD'	70Ø	91Ø	all blockfill
500	'HD'	56Ø	73Ø	20
500	'HD'	50Ø	65Ø	25

*Note: for lap of vertical bars, use values for "when less than 300mm of concrete below steel"

SITE CONDITIONS

1. Design based on soils report/assessment
By: Torlesse Limited Ref: T0566 Dated: 10 April 2025
Specifically: Design based on all unsuitable material removed and uniform non-expansive soils across building platform with a minimum ultimate bearing capacity of 200kPa, subject to engineer's confirmation.
2. In the absence of any other recommendation, a minimum of 100mm of compacted granular/hardfill layer extended min. 200mm beyond the building footprint (or as per notes 3 & 4 below) shall be placed under the slab to level the site and provide a durable working surface for temporary works.
3. Building platform, where filled above natural Existing Ground Level (EGL), shall be extended min.1000mm beyond the building footprint. Fill shall be placed and compacted in accordance to NZS 4431:1989. Fill exceeding 600mm deep above EGL shall be reviewed by author of geotechnical report or suitably qualified geotechnical engineer.
4. Where compacted fill (to replace excavated material) is required to form building platform, the excavation and backfill shall be extended past the building edge by at least the same depth that is being excavated or as per note 2 above, whichever is greater. Backfill shall be placed and compacted in accordance to NZS 4431:1989.
5. Confirm position & depth of all public pipes on the site, prior to any works. If different to the site plan then Wilton Joubert Ltd. shall be contacted.
6. Building foundation shall be outside of 45° influence line from the bottom of any public pipes, unless otherwise allowed for and shown in WJL Foundation Plan.
7. Building foundation shall be outside of 1V:1.5H influence line from the bottom of any retaining wall, unless otherwise allowed for and shown in WJL Foundation Plan.
8. Building foundation shall be outside of 1V:1.5H influence line from the bottom of any private underground tank, soakpit and pumps, unless otherwise allowed for and shown in WJL Foundation Plan.
9. Any excavation done for private drainage trenches MUST be backfilled and recompacted strictly as per NZBC Acceptable Solution G13/AS2.

INSPECTIONS

1. Check the BUILDING CONSENT CONDITIONS for any inspections that are required by the Building Consent Authority (BCA).
2. If BCA requires PS4 to be issued for inspections, a local engineer may be engaged to carry out such inspections and issue a PS4 accordingly.

Designed for:



Wellington:
Andy Garvie
027 2000 377
andy@rfl.co.nz

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1	Wing wall footing revision	16.09.25

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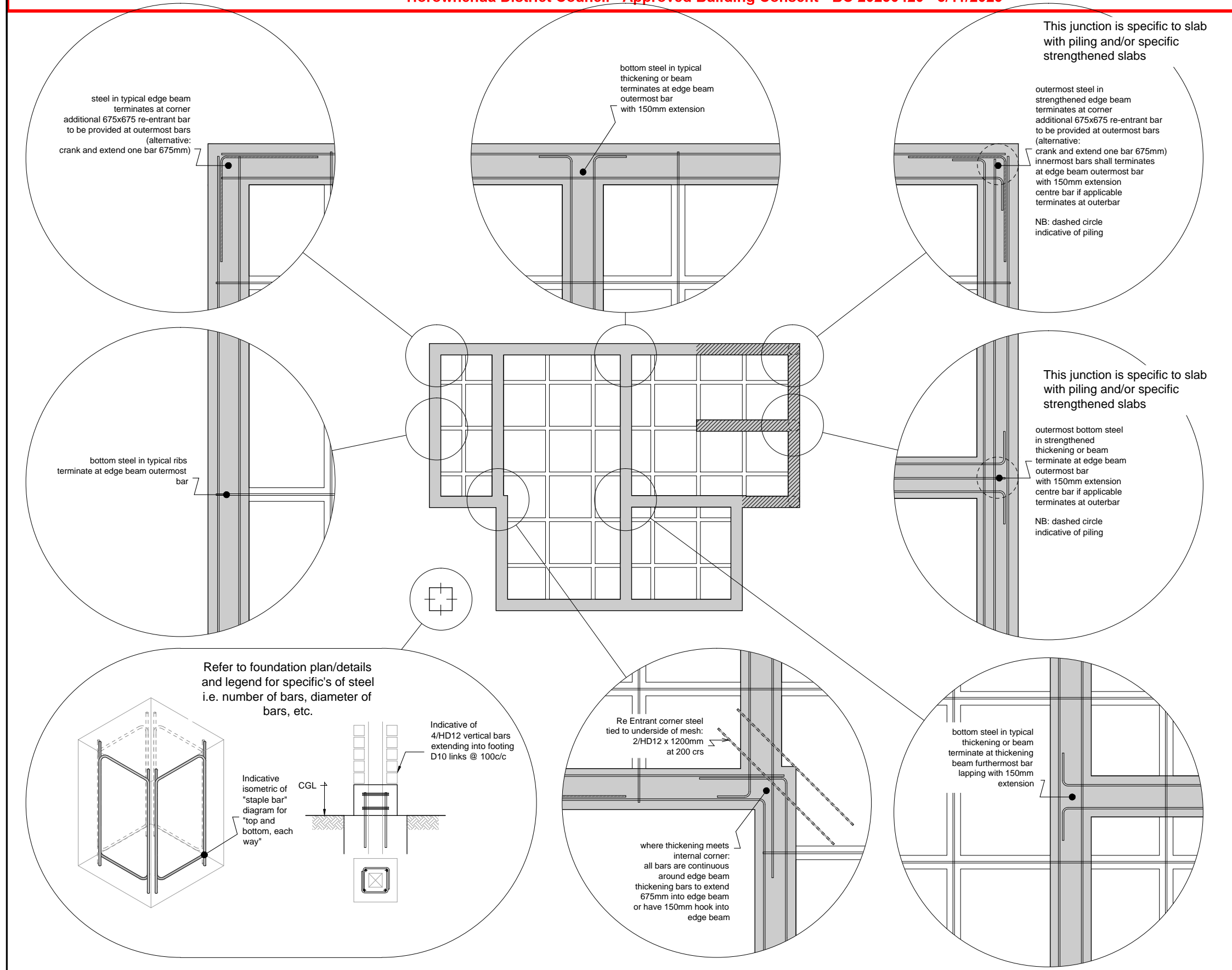
SITE ADDRESS:
**Proposed Residence:
Units 27 - 28
Block C
15 Cambridge Place
Levin, Manawatu**

SHEET TITLE:
Cover Page


DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142509	Sheet #: S0.1
Revision Job #: Rev02	

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REVISION



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SITE ADDRESS:

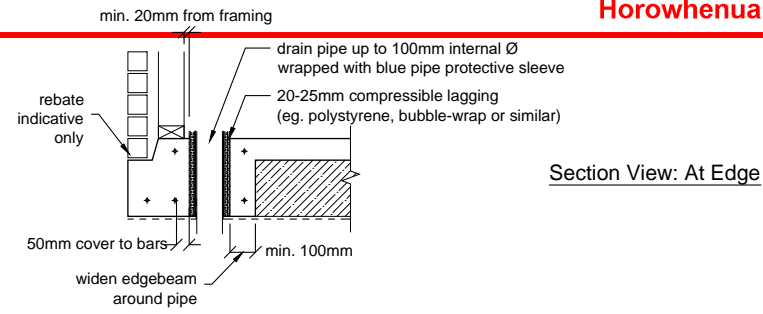
**Proposed Residence:
Units 27 - 28
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Levin, Manawatu**

SHEET TITLE:
Typical Steel Detailing

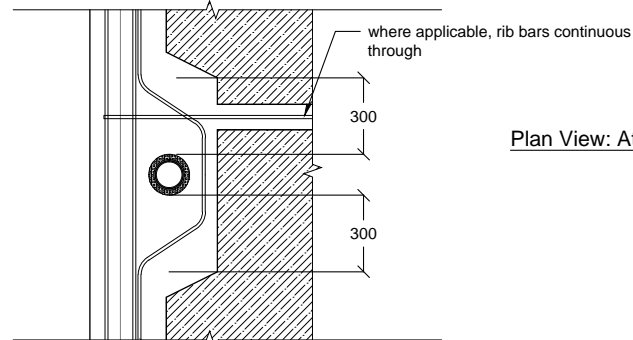
DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100 & 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142509	Sheet #: S0.2
Revision Job #: Rev02	

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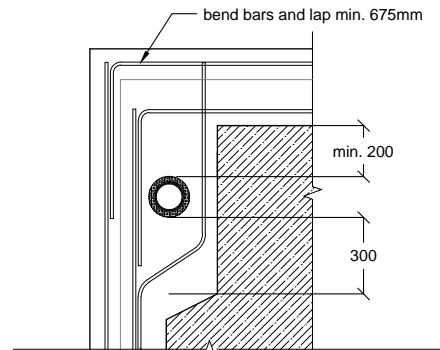
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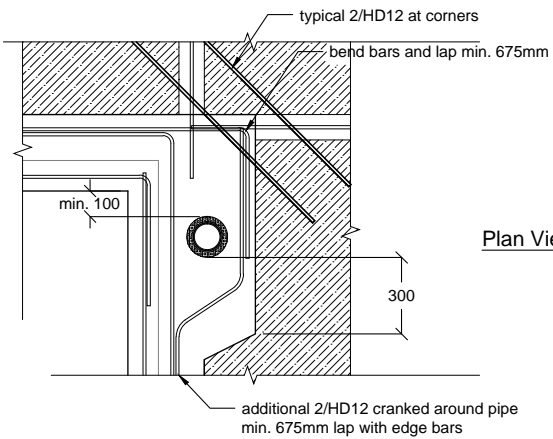
Section View: At Edge



Plan View: At Edge

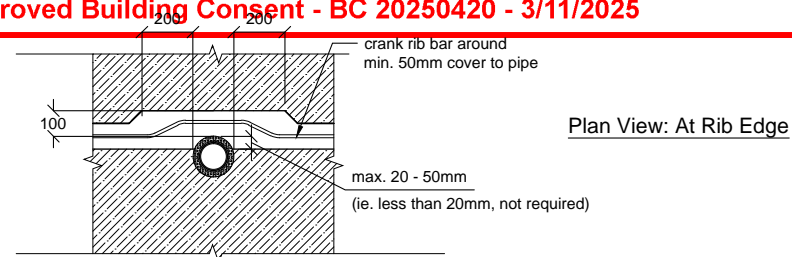


Plan View: At Open Corner

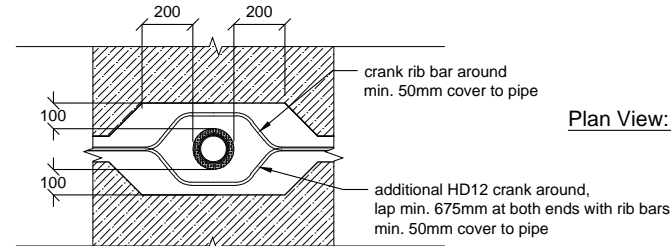


Plan View: At Closed Corner

Typical Detail Around Pipes
Raftfloor Edge Beam

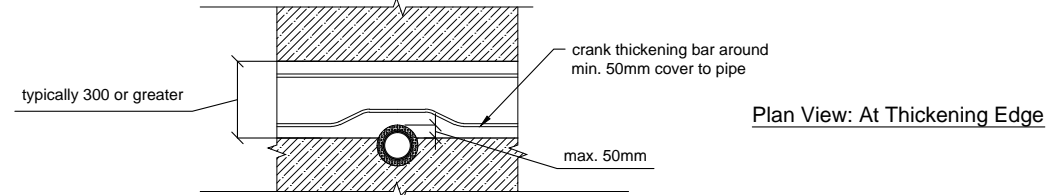


Plan View: At Rib Edge

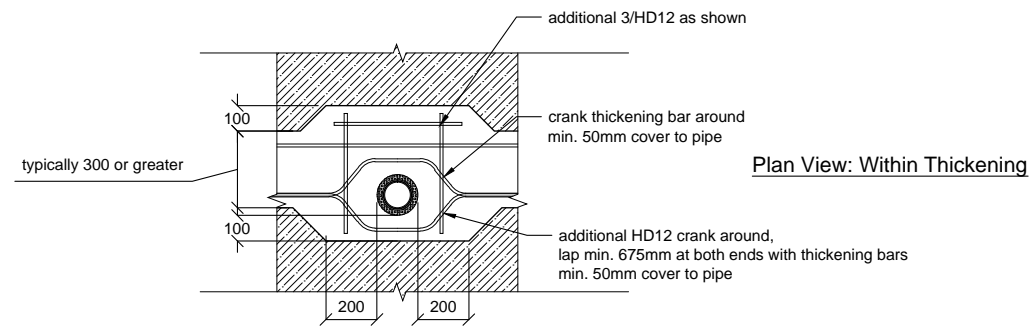


Plan View: Within Rib

Typical Detail Around Pipes
Raftfloor Internal Ribs



Plan View: At Thickening Edge



Plan View: Within Thickening

Typical Detail Around Pipes
Raftfloor Internal Thickenings

NOTES:

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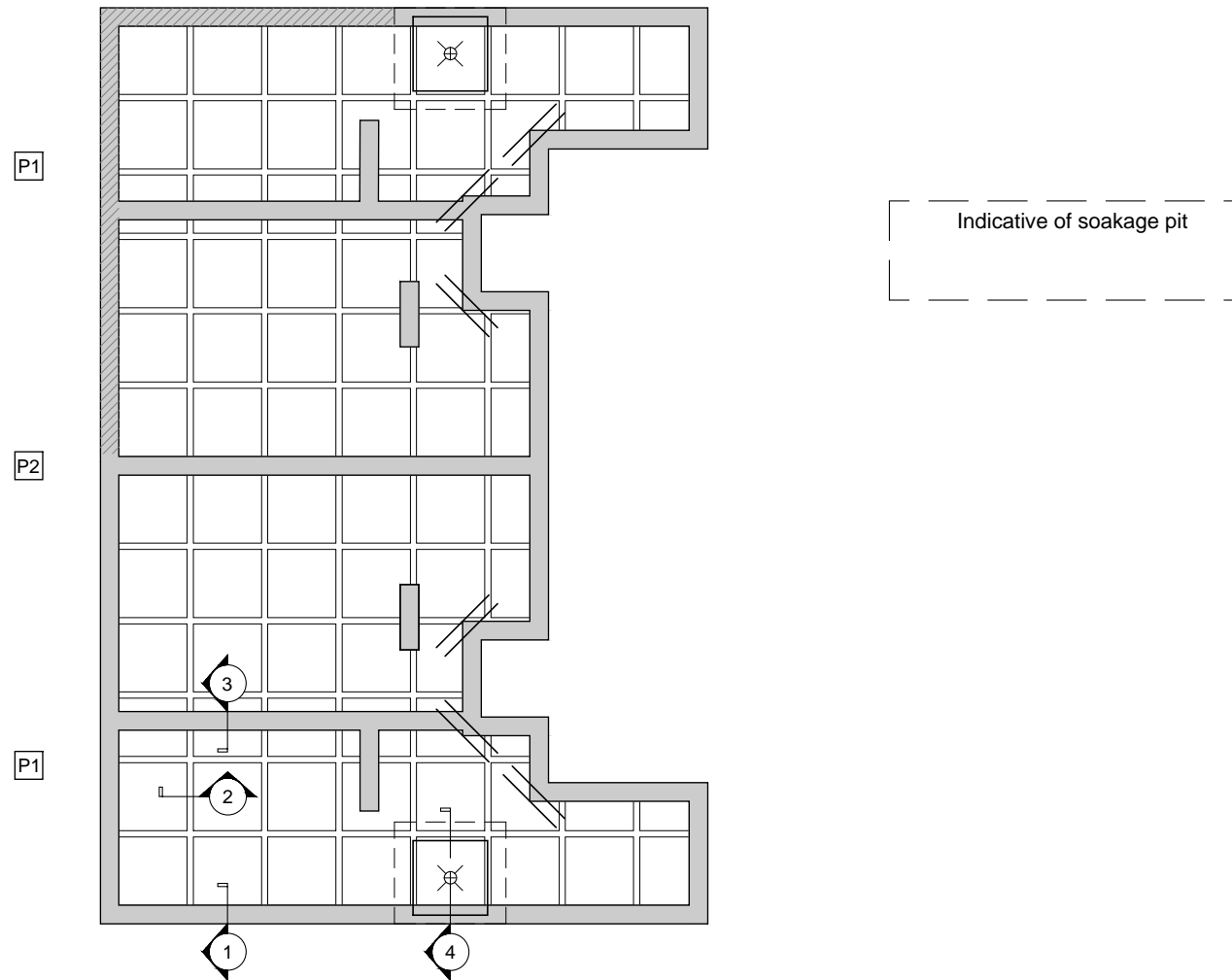
SHEET TITLE:
Typical Pipe Penetration Details

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100 & 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142509	Sheet #: S0.3
Revision Job #: Rev02	

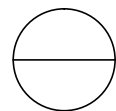
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Note:
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Block C - Units 27 & 28
Raft Floor Plan



Scale 1:100

Legend:

- Re-entrant corner steel
2/HD12 x 1200mm
at 200 crs
- Shower setdown:
pods within area of shower + 300mm
are cut down by 50mm max
so as to maintain 85mm topping
HD12 trim around top.
Steel in ribs, thickenings and
edge beams continuous through
- P1
400² Post footing
set 400 deep or to suitable material,
whichever is deeper.
1/HD12 'staple' bars
each way, top & bottom (4 total).
refer to architectural dwg's
for post & fixings
- P2
400² Post footing
set 500 deep or to suitable material,
whichever is deeper.
1/HD12 'staple' bars
each way, top & bottom (4 total).
refer to architectural dwg's
for post & fixings
- Indicative location
of deepened edge beam
refer to detail -1a-

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SHEET TITLE:

Raftfloor Plan

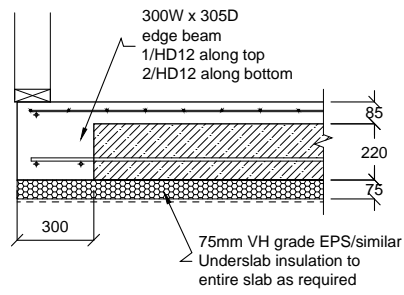
DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:100	ORIGINAL DRAWING SIZE: A3

Original Job #: Job # 142509	Sheet #: S1.1
Revision Job #: Rev02	

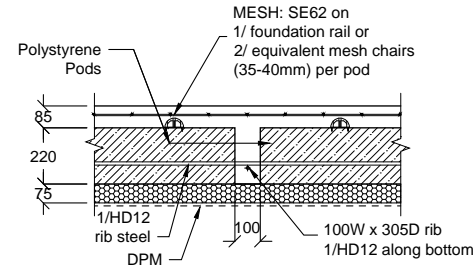
COPYRIGHT - WILTON JOUBERT LIMITED

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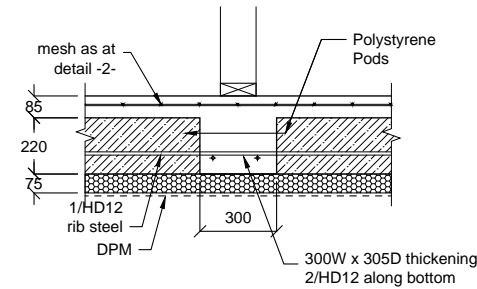
NOTE: Framing varies, refer to architectural plans.



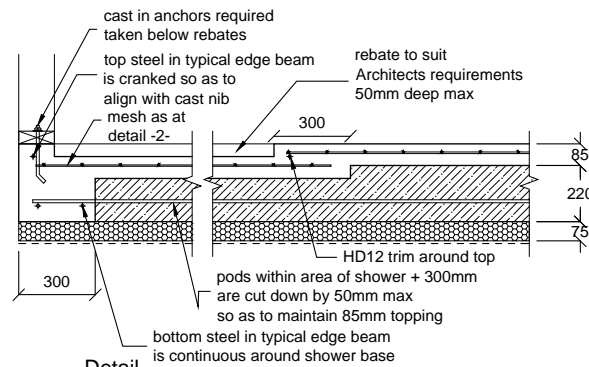
Detail
Raftfloor Edge Beam - 300
Scale 1:25



Detail
Raftfloor Internal Rib - 100
Scale 1:25

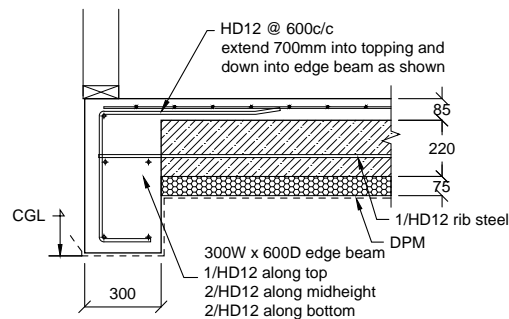


Detail
Raftfloor Internal Rib - 300
Scale 1:25



Detail
Raftfloor Shower Setdown at
Edge Beam - 300
Scale 1:25

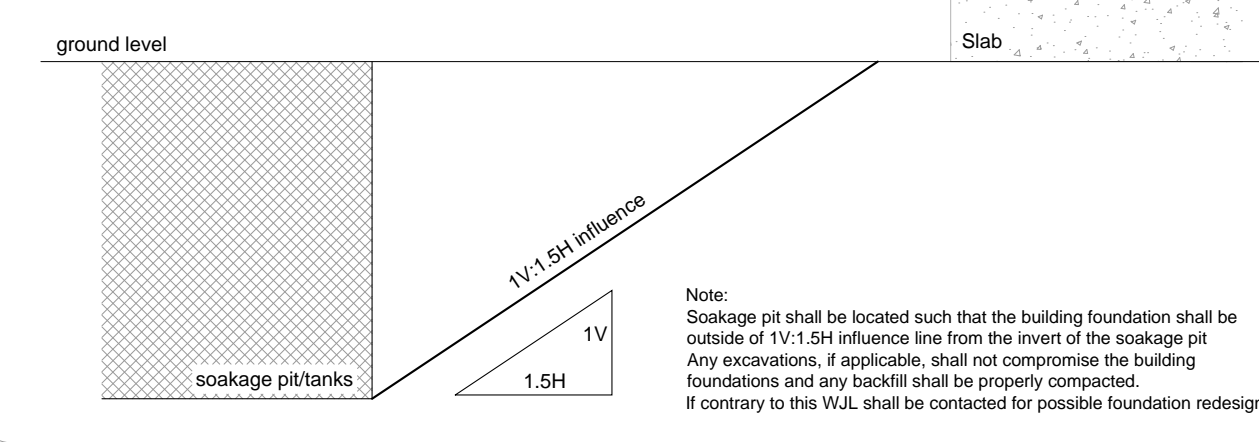
NOTE:
Allow for Ribs and or
Thickenings as may be shown on plan



NOTE:
Detail -1a- may be used where,
FFL is greater than 300mm above CGL
but less than 600mm above CGL

Detail
Deepened Edge Beam - 300
Scale 1:25

Note: soakage pit Influence Line requirement



Designed for:



Wellington:
Andy Garvie
027 2000 377
andy@rfl.co.nz

- Do not scale from Drawings.
- All structural drawings are to be read in conjunction with architectural and all other relevant documentation. Any discrepancies shall be notified prior to any construction or fabrication.
- Prior to any works, the position & depth of all public pipes on the site shall be confirmed by authorized/qualified personnel. If different to the plans provided, Wilton Joubert Ltd. shall be contacted for possible redesigns.

No.	DESCRIPTION	DATE
2	Update plans	25.09.25
1	Wing wall footing revision	16.09.25

WILTON JOUBERT
Consulting Engineers
Northland: 09 945 4188 Christchurch: 021 624 063
Auckland: 09 527 0196 Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

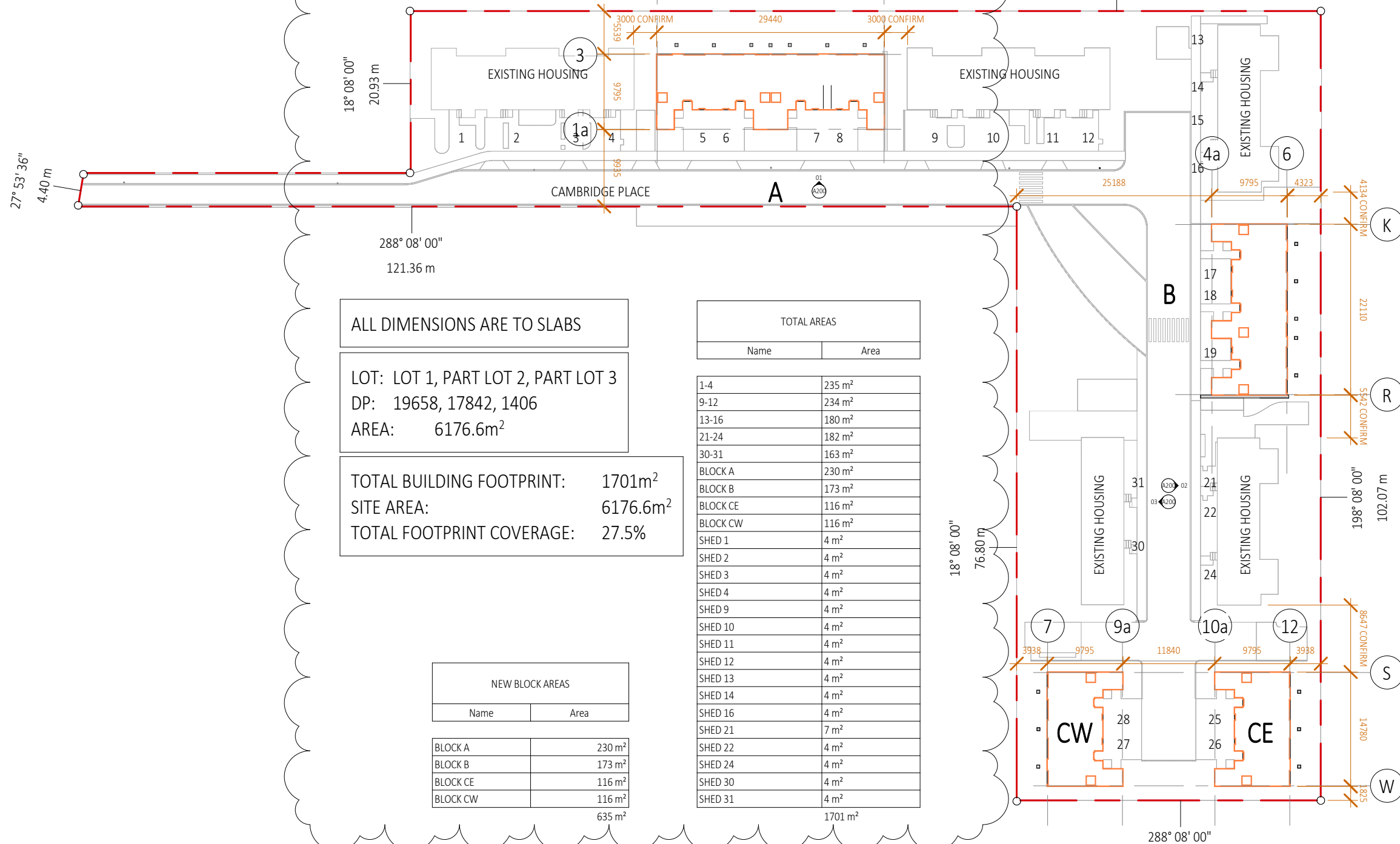
Proposed Residence:
Units 27 - 28
Block C
15 Cambridge Place
Levin, Manawatu

SHEET TITLE:
Raftfloor Details

DESIGNED BY: SY	DRAWN BY: MH
CHECKED BY: DL	CHECKED BY: MH
DATE: 11-9-2025	OFFICE: Lunn Ave
DRAWING SCALE: 1:25	ORIGINAL DRAWING SIZE: A3
Original Job #: Job # 142509	Sheet #: S2.1
Revision Job #: Rev02	

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ALL DIMENSIONS ARE TO SLABS

LOT: LOT 1, PART LOT 2, PART LOT 3
DP: 19658, 17842, 1406
AREA: 6176.6m²

TOTAL BUILDING FOOTPRINT: 1701m²
SITE AREA: 6176.6m²
TOTAL FOOTPRINT COVERAGE: 27.5%

TOTAL AREAS	
Name	Area
1-4	235 m ²
9-12	234 m ²
13-16	180 m ²
21-24	182 m ²
30-31	163 m ²
BLOCK A	230 m ²
BLOCK B	173 m ²
BLOCK CE	116 m ²
BLOCK CW	116 m ²
SHED 1	4 m ²
SHED 2	4 m ²
SHED 3	4 m ²
SHED 4	4 m ²
SHED 9	4 m ²
SHED 10	4 m ²
SHED 11	4 m ²
SHED 12	4 m ²
SHED 13	4 m ²
SHED 14	4 m ²
SHED 16	4 m ²
SHED 21	7 m ²
SHED 22	4 m ²
SHED 24	4 m ²
SHED 30	4 m ²
SHED 31	4 m ²
TOTAL	1701 m²

NEW BLOCK AREAS	
Name	Area
BLOCK A	230 m ²
BLOCK B	173 m ²
BLOCK CE	116 m ²
BLOCK CW	116 m ²
TOTAL	635 m²

REFER TO CIVIL DRAWINGS FOR ALL UNDERGROUND SERVICES

REFER TO SLAB DRAWINGS FOR CONCRETE SLAB ON GROUND

BUILDING CONSENT 03.10.2025



- NOTES:
- ALL WORK TO BE IN ACCORDANCE WITH NZS3604, NZS 4229, NZBC.
 - DO NOT SCALE FROM DRAWINGS. DIMENSIONS GOVERN.
 - ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
 - ALTERATIONS TO THE DRAWINGS MUST BE NOTIFIED TO THE ARCHITECT IN WRITING.

CLIMATE ZONE: 3
EARTHQUAKE ZONE: 3
EXPOSURE ZONE: C
RAINFALL RANGE: 60-70
WIND ZONE: LOW

SITE SETOUT PLAN
scale on A3: 1 : 500

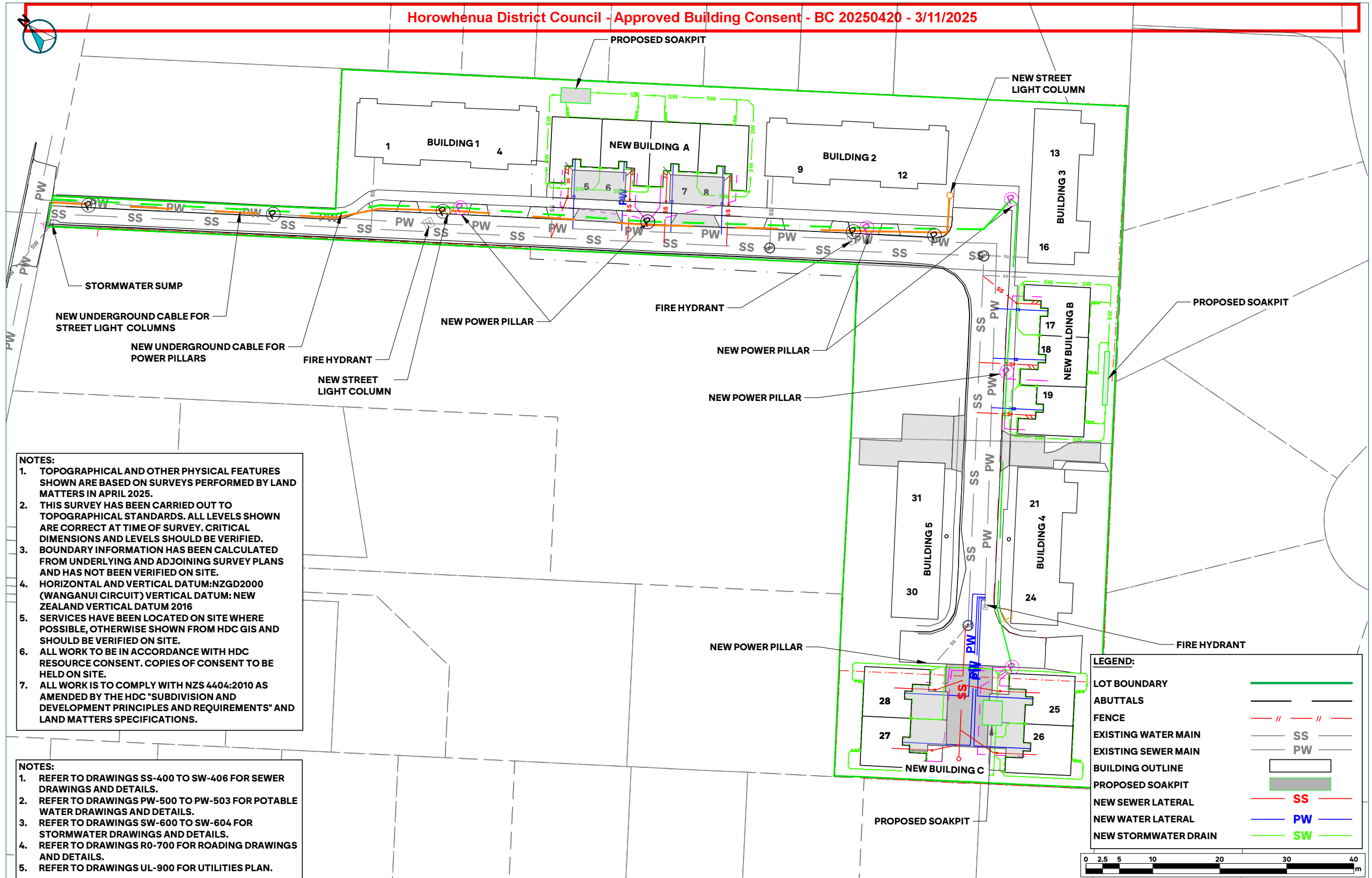
Rev	Description	Date
1	BUILDING CONSENT	03.10.2025
2	PLANNING 1	06.10.2025

if in doubt, ask north

CAMBRIDGE PLACE
Wellington

© LT McGuinness Limited
9 Francis Place Te Aro Wellington 6011
PO Box 9639 Marion Square 6141
+4 384 8455

SF
06.10.2025
2
A090



NOTES:

1. TOPOGRAPHICAL AND OTHER PHYSICAL FEATURES SHOWN ARE BASED ON SURVEYS PERFORMED BY LAND MATTERS IN APRIL 2025.
2. THIS SURVEY HAS BEEN CARRIED OUT TO TOPOGRAPHICAL STANDARDS. ALL LEVELS SHOWN ARE CORRECT AT TIME OF SURVEY. CRITICAL DIMENSIONS AND LEVELS SHOULD BE VERIFIED.
3. BOUNDARY INFORMATION HAS BEEN CALCULATED FROM UNDERLYING AND ADJOINING SURVEY PLANS AND HAS NOT BEEN VERIFIED ON SITE.
4. HORIZONTAL AND VERTICAL DATUM: NZGD2000 (WANGANUI CIRCUIT) VERTICAL DATUM: NEW ZEALAND VERTICAL DATUM 2016
5. SERVICES HAVE BEEN LOCATED ON SITE WHERE POSSIBLE, OTHERWISE SHOWN FROM HDC GIS AND SHOULD BE VERIFIED ON SITE.
6. ALL WORK TO BE IN ACCORDANCE WITH HDC RESOURCE CONSENT. COPIES OF CONSENT TO BE HELD ON SITE.
7. ALL WORK IS TO COMPLY WITH NZS 4404:2010 AS AMENDED BY THE HDC "SUBDIVISION AND DEVELOPMENT PRINCIPLES AND REQUIREMENTS" AND LAND MATTERS SPECIFICATIONS.

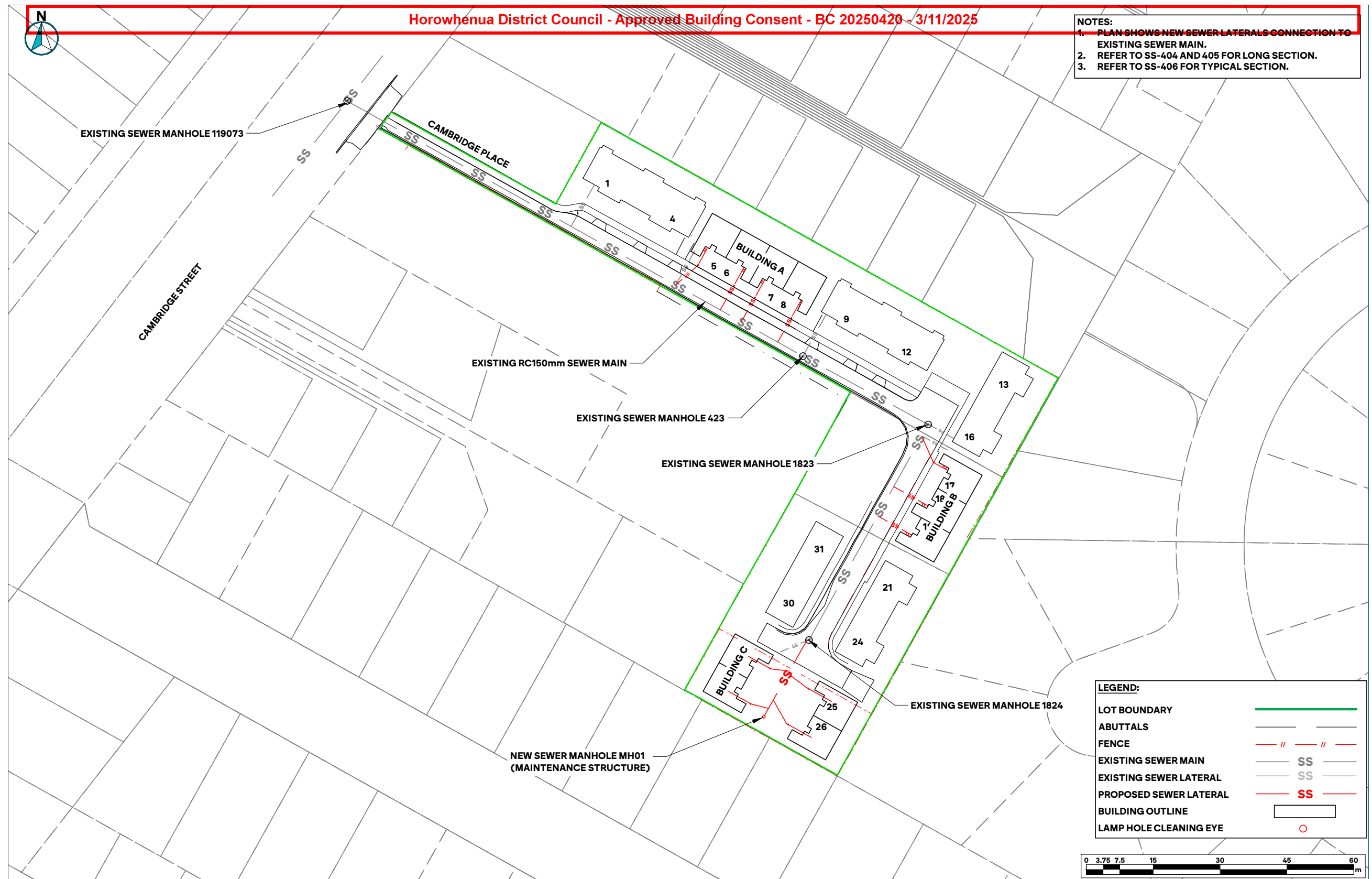
NOTES:

1. REFER TO DRAWINGS SS-400 TO SW-406 FOR SEWER DRAWINGS AND DETAILS.
2. REFER TO DRAWINGS PW-500 TO PW-503 FOR POTABLE WATER DRAWINGS AND DETAILS.
3. REFER TO DRAWINGS SW-600 TO SW-604 FOR STORMWATER DRAWINGS AND DETAILS.
4. REFER TO DRAWINGS R0-700 FOR ROADING DRAWINGS AND DETAILS.
5. REFER TO DRAWINGS UL-900 FOR UTILITIES PLAN.

LEGEND:

- LOT BOUNDARY ———
- ABUTTALS ———
- FENCE - - - - -
- EXISTING WATER MAIN SS
- EXISTING SEWER MAIN PW
- BUILDING OUTLINE □
- PROPOSED SOAKPIT ■
- NEW SEWER LATERAL SS
- NEW WATER LATERAL PW
- NEW STORMWATER DRAIN SW

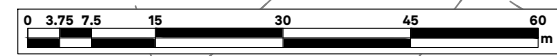
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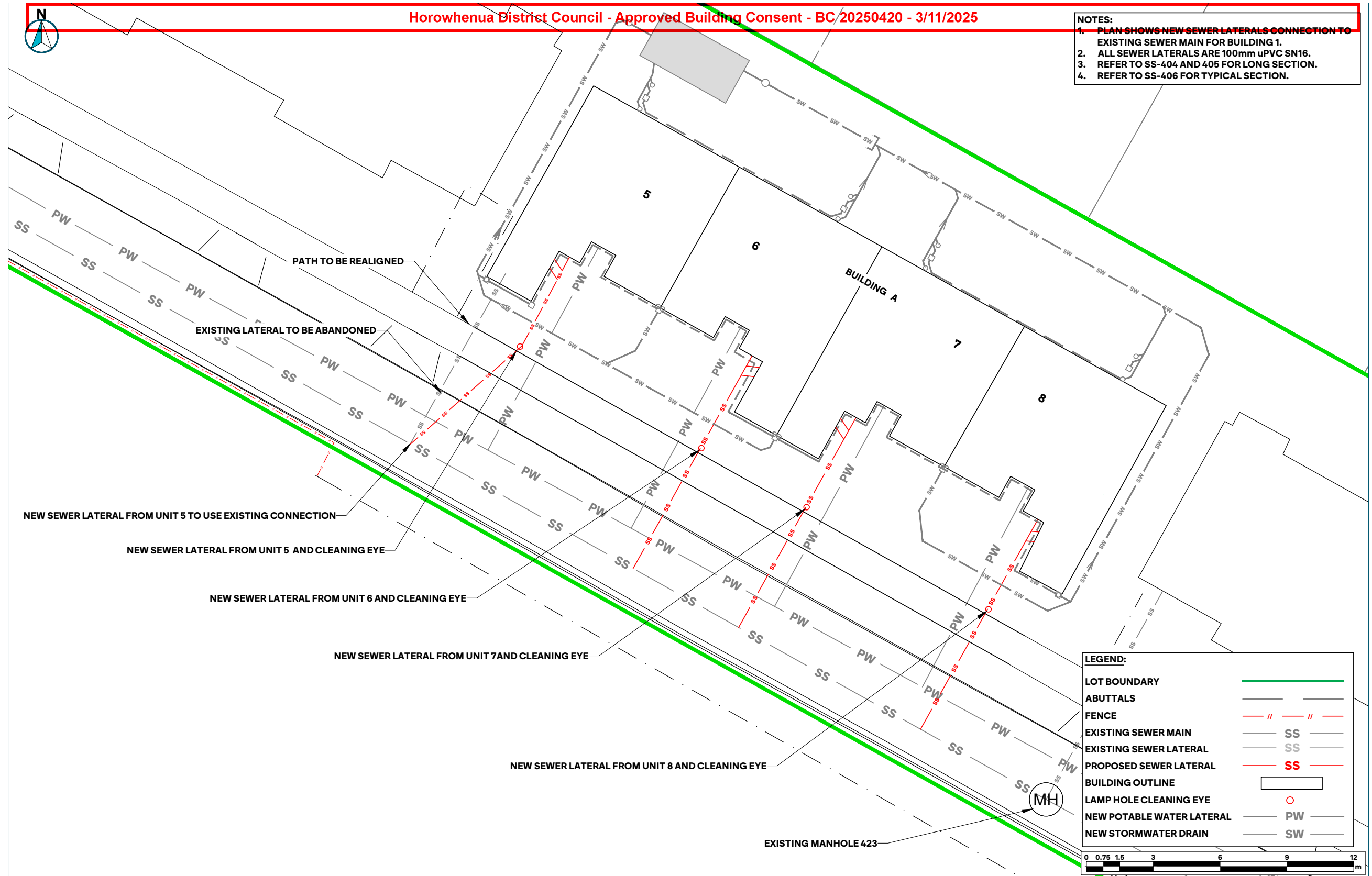
NOTES:
 1. PLAN SHOWS NEW SEWER LATERALS CONNECTION TO EXISTING SEWER MAIN.
 2. REFER TO SS-404 AND 405 FOR LONG SECTION.
 3. REFER TO SS-406 FOR TYPICAL SECTION.

LEGEND:

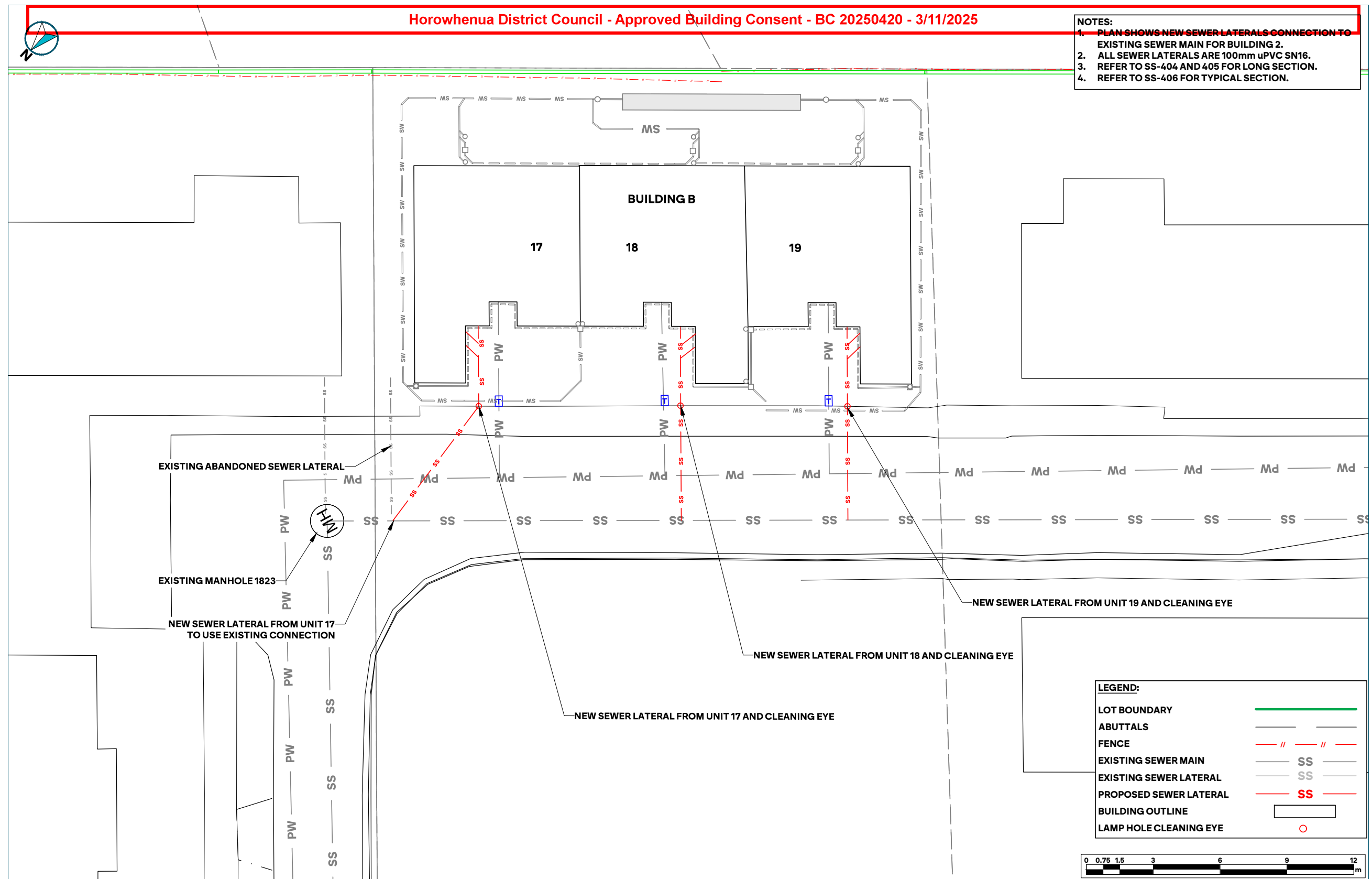
LOT BOUNDARY	—
ABUTTALS	—
FENCE	— // — // —
EXISTING SEWER MAIN	SS
EXISTING SEWER LATERAL	SS
PROPOSED SEWER LATERAL	SS
BUILDING OUTLINE	□
LAMP HOLE CLEANING EYE	○



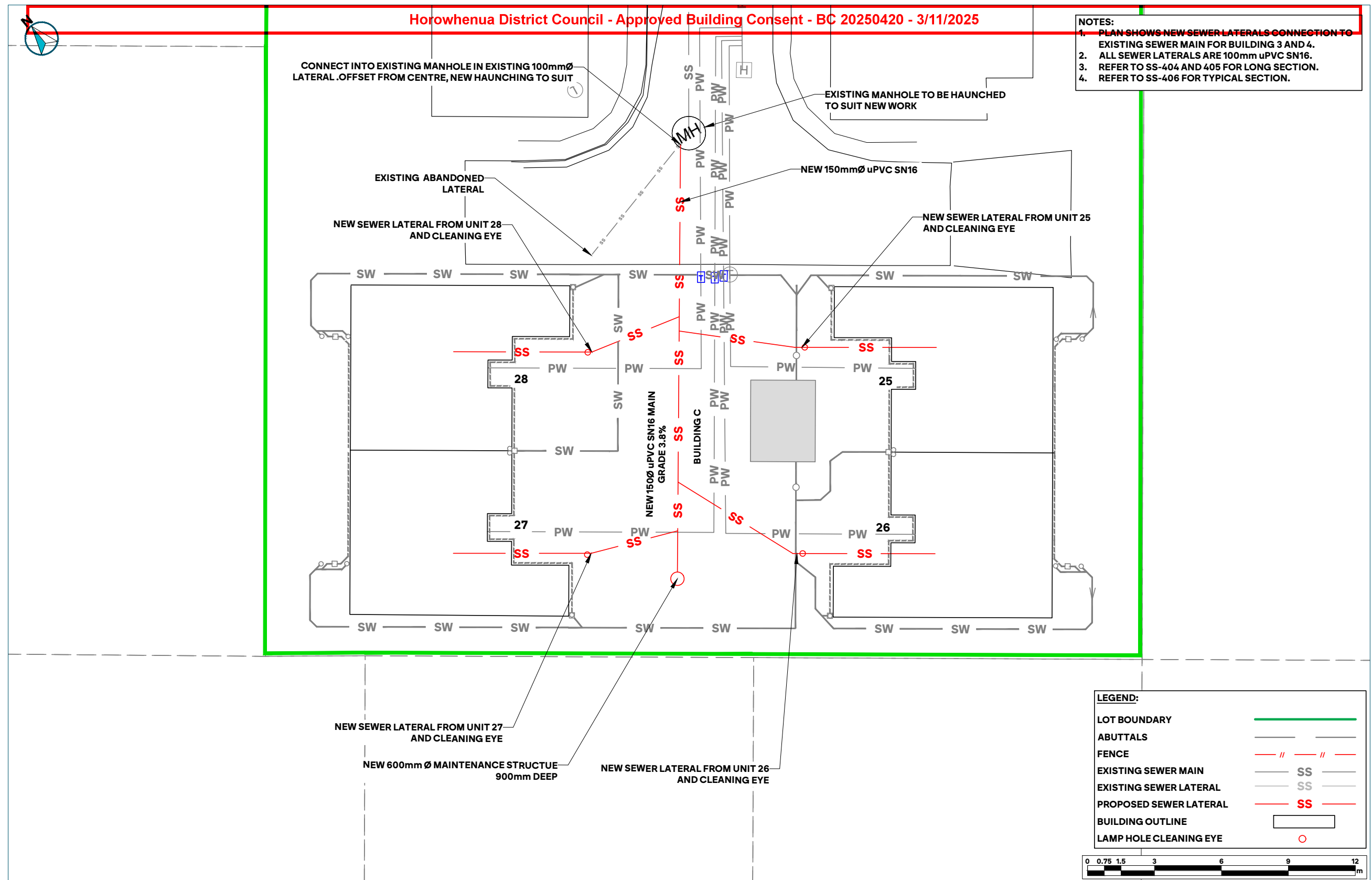
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				DESIGNED BY: DB 08/09/2025	SCALE: 1:750 A3 1:375 A1	DRAWING NO.: 1313-SS-400
				CHECKED BY: BA 15/09/2025	DRAWING NO.: 1313-SS-400	REV: 1
				DRAWING BY: DB 09/09/2025		
				ISSUED FOR: DD		



<p>PREPARED BY</p>	<p>CLIENT</p> <p>LT MCGUINNESS LIMITED</p>	<p>PROJECT</p> <p>15 CAMBRIDGE PLACE - LEVIN</p>	<p>DRAWING TITLE</p> <p>PROPOSED SANITARY NETWORK PLAN BUILDING A</p>	<p>SURVEYED BY: EP 08/09/2022</p>	<p>DATE: 24/09/2025</p>	<p>PROJECT NO.: 1313</p>
				<p>DESIGNED BY: DB 08/09/2025</p>	<p>SCALE: 1:150 A3 1:75 A1</p>	
<p>CHECKED BY: BA 15/09/2025</p>	<p>DRAWING BY: DB 09/09/2025</p>	<p>ISSUED FOR: DD</p>	<p>DRAWING NO.: 1313-SS-401</p>	<p>REV: 1</p>		



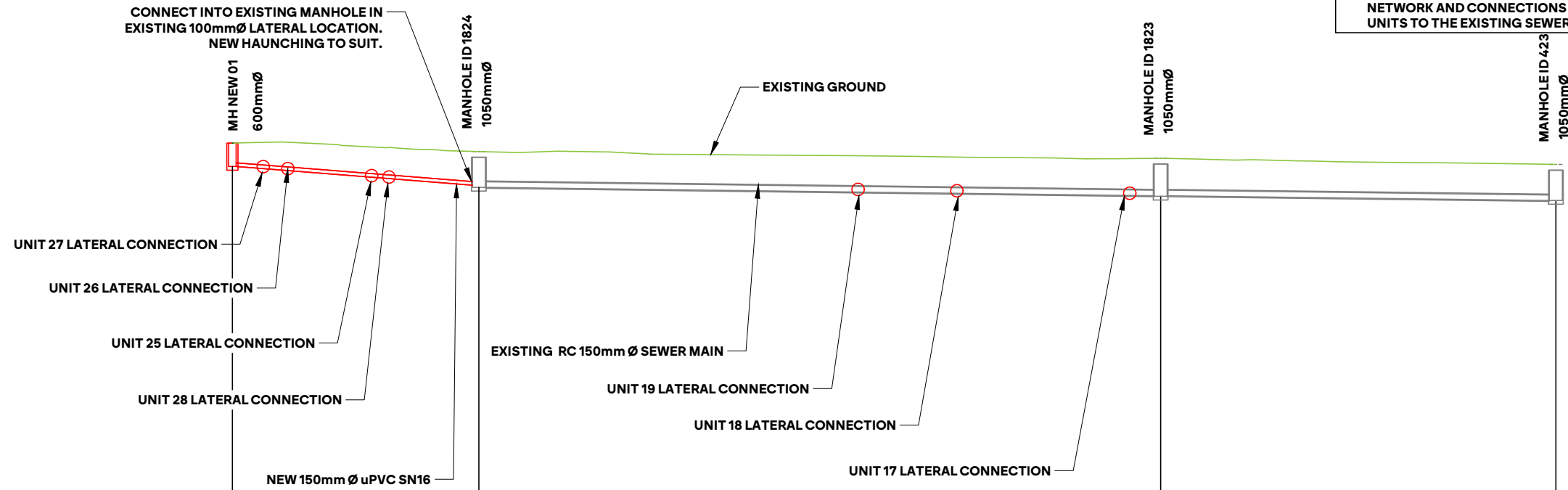
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				CHECKED BY	BA	15/09/2025	SCALE	1:150 A3 1:75 A1
				DRAWING BY	DB	09/09/2025	DRAWING NO.	REV
				ISSUED FOR:	DD		1313-SS-402	1



PREPARED BY 	CLIENT	PROJECT	DRAWING TITLE	SURVEYED BY	EP	08/09/2025	DATE	PROJECT NO.
	LT MCGUINNESS LIMITED	15 CAMBRIDGE PLACE - LEVIN	PROPOSED SANITARY NETWORK PLAN BUILDING C	DESIGNED BY	DB	08/09/2025	24/09/2025	1313
				CHECKED BY	BA	15/09/2025	SCALE	1:150 A3 1:75 A1
				DRAWING BY	DB	09/09/2025	DRAWING NO.	REV
				ISSUED FOR:	DD		1313-SS-403	1

Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

NOTES:
1. THIS PLAN SHOWS LONGITUDINAL SECTION OF THE EXISTING SEWER NETWORK AND CONNECTIONS OF THE NEW LATERAL FROM THE UNITS TO THE EXISTING SEWER PIPE.



DATUM=	7.00	
FINISHED LEVEL	34.82	34.48
DEPTH TO INVERT	0.94	1.45
INVERT LEVEL	33.87	33.12
PIPE GRADIENT	3.80%	0.62%
CHAINAGE	-19.96	19.96
	(20.0)	(55.2)
		0.00
		55.22
		55.22
		(32.0)
		32.01
		87.23

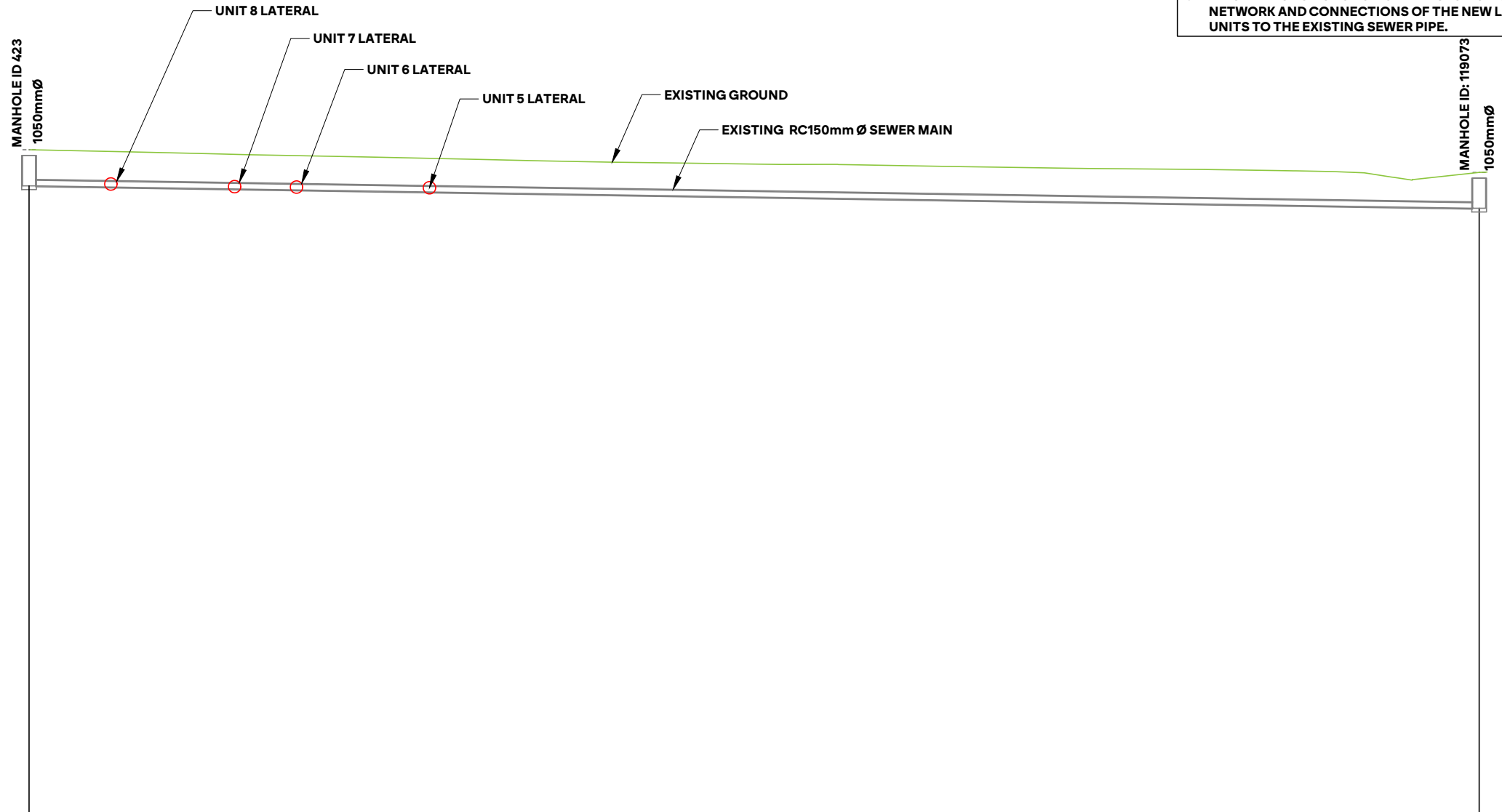
Scale V1:250 H1:500

C:\2025\State\LAN\DATA\1313 - 15 Cambridge Place - Levin - 144310 Plans - Assets - CAD\Drawings\1313 - DD Drawings.dwg, Plotted by Dsk at 11/02/2025 10:18:21 am

	CLIENT	PROJECT	DRAWING TITLE	SURVEYED BY	EP	9/04/2025	DATE	PROJECT NO.
	LT MCGUINNESS LIMITED	15 CAMBRIDGE PLACE - LEVIN	SEWER LONG SECTION SHEET 1 OF 2	DESIGNED BY	DB	08/09/2025	24/09/2025	1313
				CHECKED BY	BA	15/09/2025	SCALE	AS SHOWN
				DRAWING BY	DB	09/09/2025	DRAWING NO.	REV
				ISSUED FOR:	DD		1313-SS-404	1

Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

NOTES:
1. THIS PLAN SHOWS LONGITUDINAL SECTION OF THE EXISTING SEWER NETWORK AND CONNECTIONS OF THE NEW LATERAL FROM THE UNITS TO THE EXISTING SEWER PIPE.



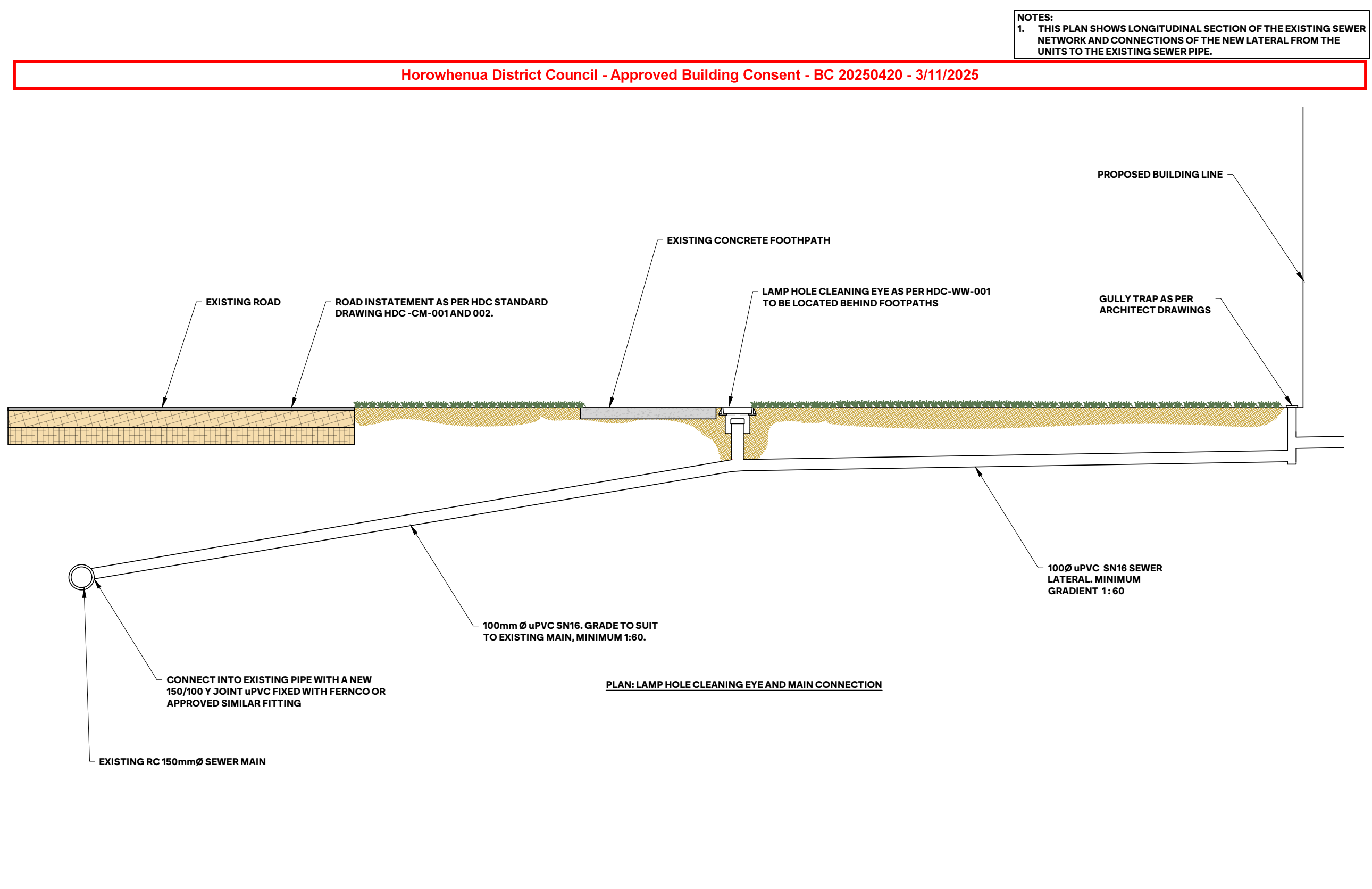
DATUM= 7.00

FINISHED LEVEL	33.96		33.04
DEPTH TO INVERT	1.46	1.46	1.45
INVERT LEVEL	32.50	32.50	31.59
PIPE GRADIENT			0.77%
			150ø RC
CHAINAGE	87.23		117.16
			204.39

Scale V 1:250 H 1:500

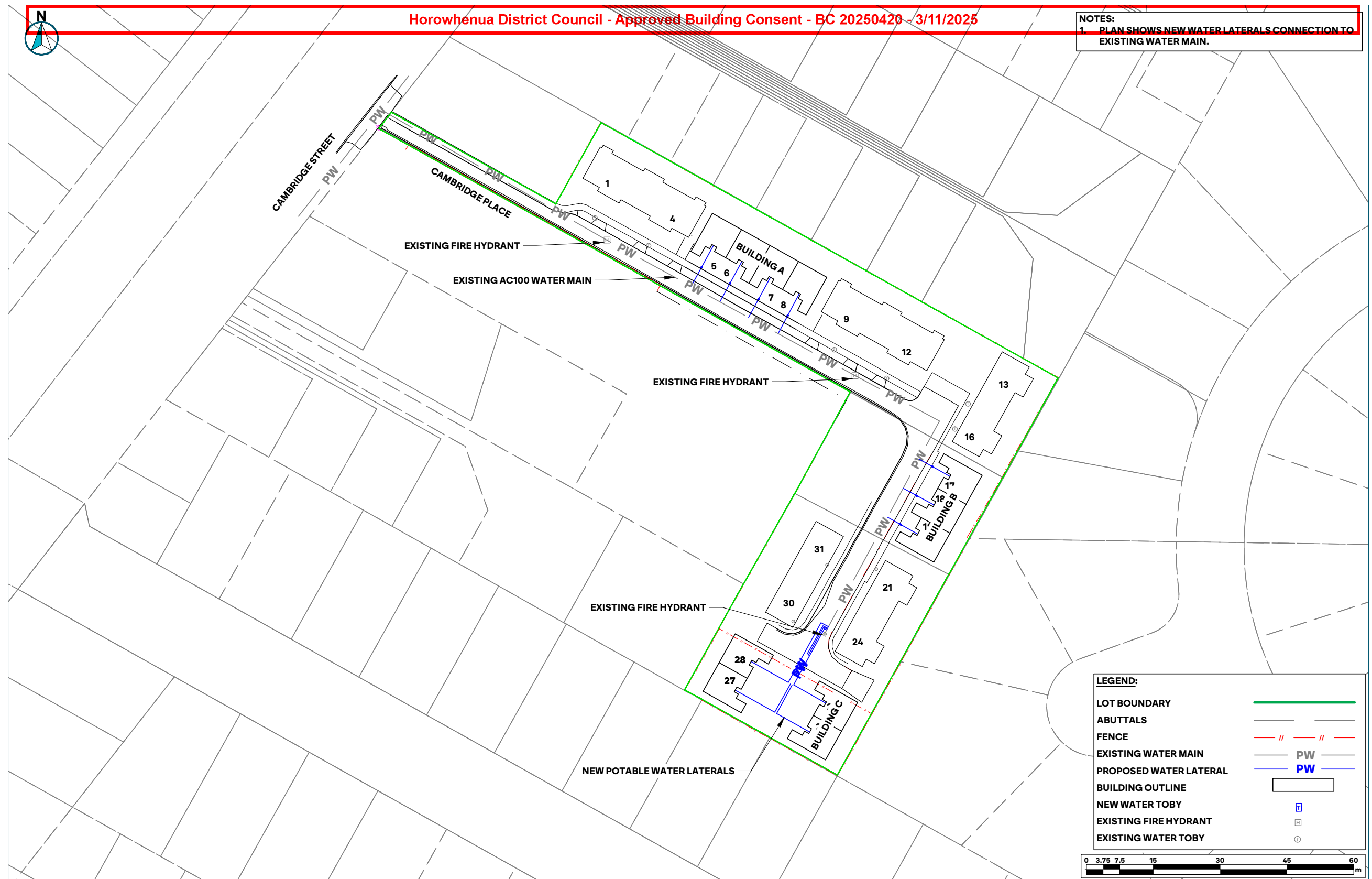
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	CLIENT	PROJECT	DRAWING TITLE	SURVEYED BY	EP	9/04/2025	DATE	PROJECT NO.
	LT MCGUINNESS LIMITED	15 CAMBRIDGE PLACE - LEVIN	SEWER LONG SECTION SHEET 2 OF 2	DESIGNED BY	DB	08/09/2025	24/09/2025	1313
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				ISSUED FOR:	DD	1313-SS-405	1	

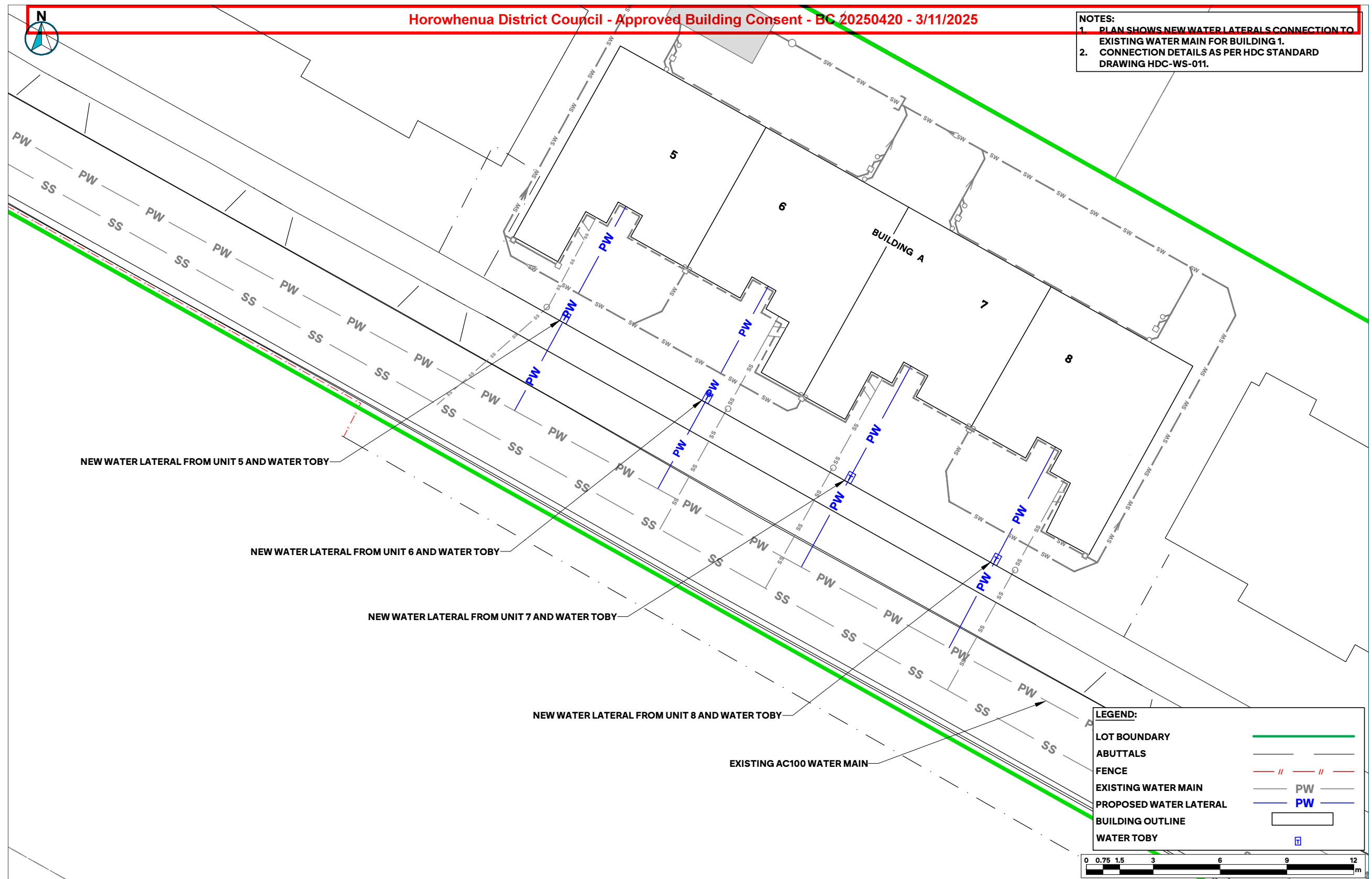


C:\2025\15 Cambridge Place - Levin - 144310 Plans, Assets, CAD\Drawings\1313 - DD Drawings.dwg, Plotted by Dik at 11/02/2025 10:18:30 am

<p>PREPARED BY</p>	<p>CLIENT</p> <p style="text-align: center;">LT MCGUINNESS LIMITED</p>	<p>PROJECT</p> <p style="text-align: center;">15 CAMBRIDGE PLACE - LEVIN</p>	<p>DRAWING TITLE</p> <p style="text-align: center;">TYPICAL LATERAL CONNECTION</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>SURVEYED BY</td> <td>EP</td> <td>9/04/2025</td> <td>DATE</td> <td>24/09/2025</td> <td>PROJECT NO.</td> <td>1313</td> </tr> <tr> <td>DESIGNED BY</td> <td>DB</td> <td>08/09/2025</td> <td>SCALE</td> <td>1:30 A3</td> <td></td> <td></td> </tr> <tr> <td>CHECKED BY</td> <td>BA</td> <td>15/09/2025</td> <td></td> <td>1:15 A1</td> <td></td> <td></td> </tr> <tr> <td>DRAWING BY</td> <td>DB</td> <td>09/09/2025</td> <td>DRAWING NO.</td> <td></td> <td>REV</td> <td></td> </tr> <tr> <td>ISSUED FOR:</td> <td>DD</td> <td></td> <td>1313-SS-406</td> <td></td> <td></td> <td>1</td> </tr> </table>	SURVEYED BY	EP	9/04/2025	DATE	24/09/2025	PROJECT NO.	1313	DESIGNED BY	DB	08/09/2025	SCALE	1:30 A3			CHECKED BY	BA	15/09/2025		1:15 A1			DRAWING BY	DB	09/09/2025	DRAWING NO.		REV		ISSUED FOR:	DD		1313-SS-406			1
SURVEYED BY	EP	9/04/2025	DATE	24/09/2025	PROJECT NO.	1313																																	
DESIGNED BY	DB	08/09/2025	SCALE	1:30 A3																																			
CHECKED BY	BA	15/09/2025		1:15 A1																																			
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ISSUED FOR:	DD		1313-SS-406			1																																	



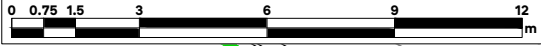
PREPARED BY 	CLIENT LT MCGUINNESS LIMITED	PROJECT 15 CAMBRIDGE PLACE - LEVIN	DRAWING TITLE OVERALL WATER NETWORK PLAN	SURVEYED BY EP 9/04/2025	DATE 24/09/2025	PROJECT NO. 1313
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				DRAWING BY DB 09/09/2025	1313-PW-500	1
				ISSUED FOR: DD		



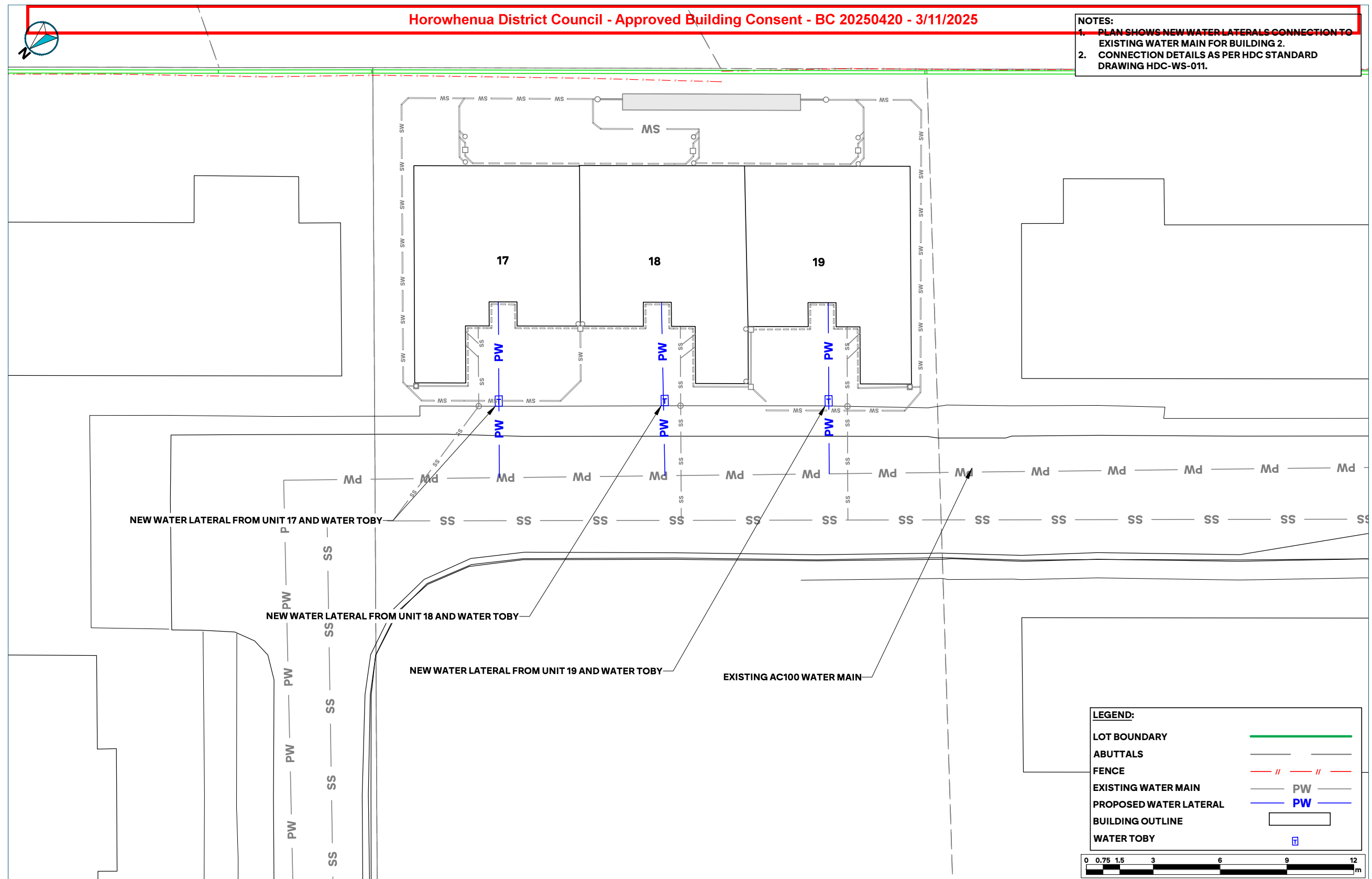
Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

NOTES:
 1. PLAN SHOWS NEW WATER LATERALS CONNECTION TO EXISTING WATER MAIN FOR BUILDING 1.
 2. CONNECTION DETAILS AS PER HDC STANDARD DRAWING HDC-WS-011.

LEGEND:
 LOT BOUNDARY ———
 ABUTTALS ———
 FENCE — // — // —
 EXISTING WATER MAIN — PW —
 PROPOSED WATER LATERAL — PW —
 BUILDING OUTLINE []
 WATER TOBY []



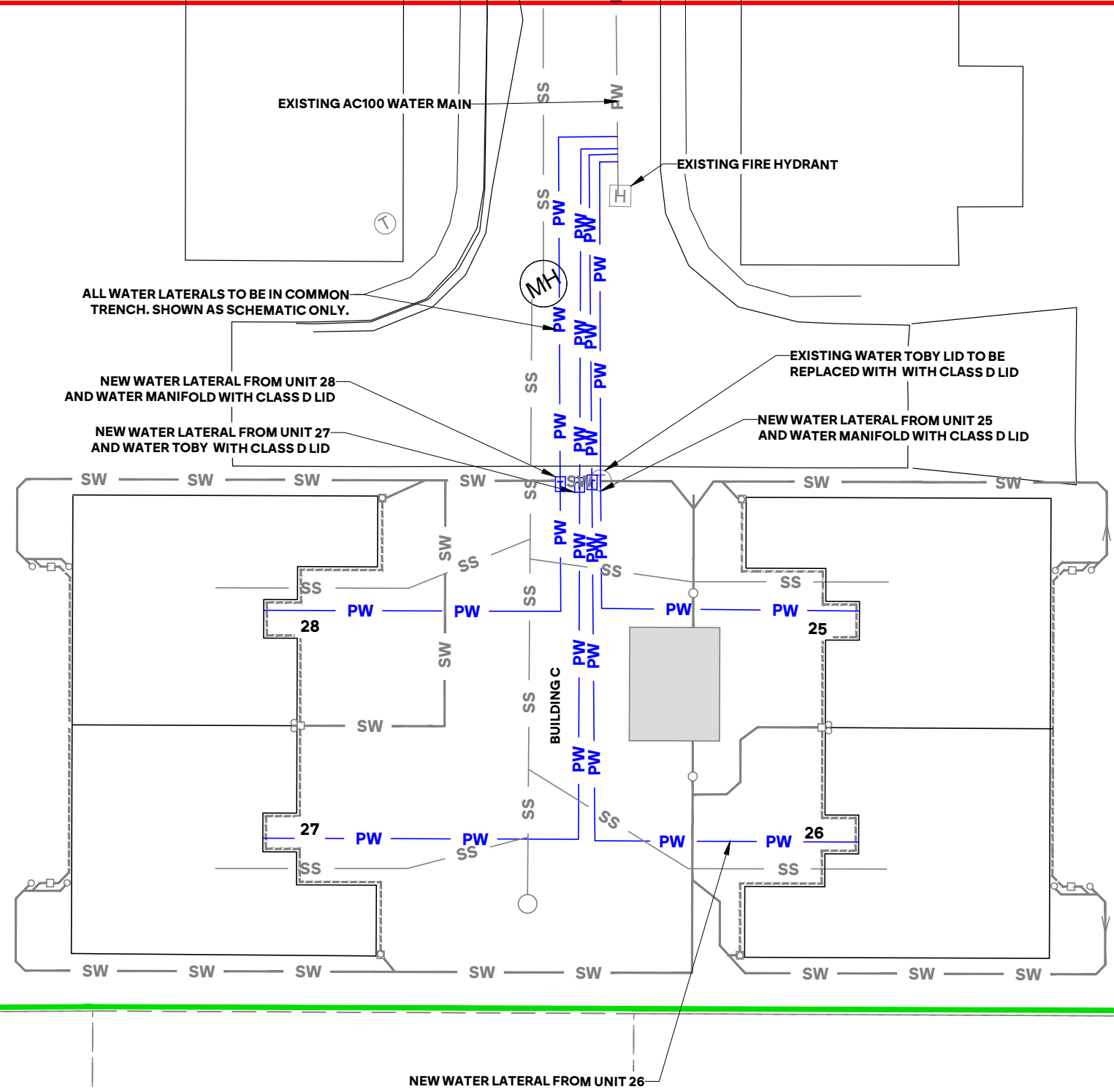
PREPARED BY 	CLIENT LT MCGUINNESS LIMITED	PROJECT 15 CAMBRIDGE PLACE - LEVIN	DRAWING TITLE POTABLE WATER NETWORK PLAN BUILDING A	SURVEYED BY EP 9/04/2025	DATE 24/09/2025	PROJECT NO. 1313
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				CHECKED BY BA 15/09/2025	DRAWING NO. 1313-PW-501	REV 1
				DRAWING BY DB 09/09/2025		
				ISSUED FOR: DD		



<p>PREPARED BY</p>	<p>CLIENT</p> <p style="text-align: center; font-weight: bold;">LT MCGUINNESS LIMITED</p>	<p>PROJECT</p> <p style="text-align: center; font-weight: bold;">15 CAMBRIDGE PLACE - LEVIN</p>	<p>DRAWING TITLE</p> <p style="text-align: center; font-weight: bold;">POTABLE WATER NETWORK PLAN BUILDING B</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 6px;">SURVEYED BY</td> <td style="font-size: 6px;">EP</td> <td style="font-size: 6px;">08/09/2025</td> <td style="font-size: 6px;">DATE</td> <td style="font-size: 6px;">24/09/2025</td> <td style="font-size: 6px;">PROJECT NO.</td> <td style="font-size: 6px;">1313</td> </tr> <tr> <td style="font-size: 6px;">DESIGNED BY</td> <td style="font-size: 6px;">DB</td> <td style="font-size: 6px;">08/09/2025</td> <td style="font-size: 6px;">SCALE</td> <td style="font-size: 6px;">1:150 A3</td> <td style="font-size: 6px;">1:75 A1</td> <td></td> </tr> <tr> <td style="font-size: 6px;">CHECKED BY</td> <td style="font-size: 6px;">BA</td> <td style="font-size: 6px;">15/09/2025</td> <td style="font-size: 6px;">DRAWING NO.</td> <td style="font-size: 6px;">1313-PW-502</td> <td style="font-size: 6px;">REV</td> <td style="font-size: 6px;">1</td> </tr> <tr> <td style="font-size: 6px;">DRAWING BY</td> <td style="font-size: 6px;">DB</td> <td style="font-size: 6px;">09/09/2025</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td style="font-size: 6px;">ISSUED FOR:</td> <td style="font-size: 6px;">DD</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table>	SURVEYED BY	EP	08/09/2025	DATE	24/09/2025	PROJECT NO.	1313	DESIGNED BY	DB	08/09/2025	SCALE	1:150 A3	1:75 A1		CHECKED BY	BA	15/09/2025	DRAWING NO.	1313-PW-502	REV	1	DRAWING BY	DB	09/09/2025					ISSUED FOR:	DD					
SURVEYED BY	EP	08/09/2025	DATE	24/09/2025	PROJECT NO.	1313																																	
DESIGNED BY	DB	08/09/2025	SCALE	1:150 A3	1:75 A1																																		
CHECKED BY	BA	15/09/2025	DRAWING NO.	1313-PW-502	REV	1																																	
DRAWING BY	DB	09/09/2025																																					
ISSUED FOR:	DD																																						

Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

NOTES:
1. PLAN SHOWS NEW WATER LATERALS CONNECTION TO EXISTING WATER MAIN FOR BUILDING 3 AND 4.
2. CONNECTION DETAILS AS PER HDC STANDARD DRAWING HDC-WS-011.



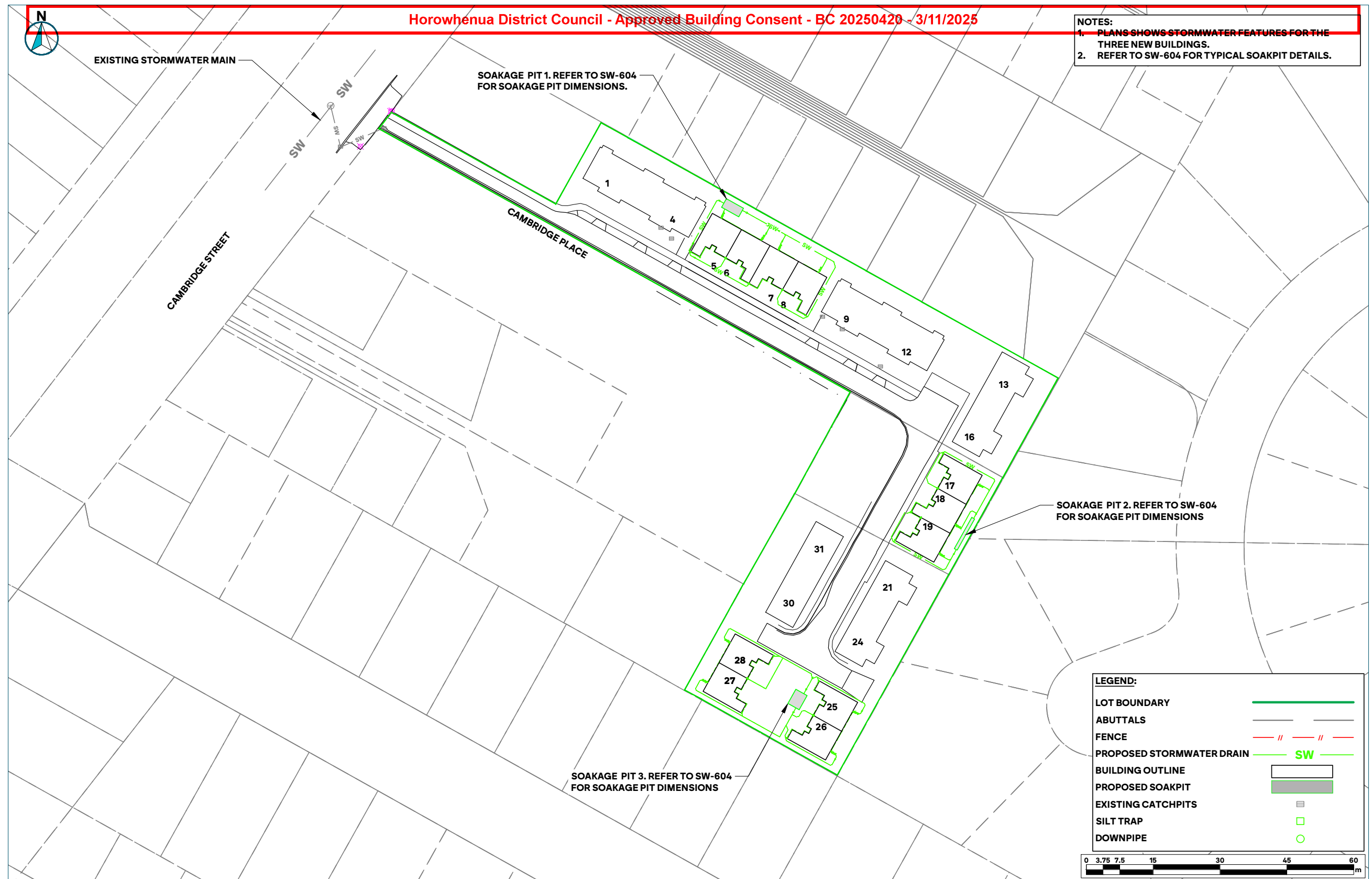
LEGEND:

- LOT BOUNDARY: Solid green line
- ABUTTALS: Dashed green line
- FENCE: Red double line
- EXISTING WATER MAIN: Grey line with 'SS' label
- PROPOSED WATER LATERAL: Blue line with 'PW' label
- BUILDING OUTLINE: Solid black line
- NEW WATER TOBY: Blue square symbol
- EXISTING FIRE HYDRANT: Square symbol with 'H'
- EXISTING WATER TOBY: Circle symbol with 'T'

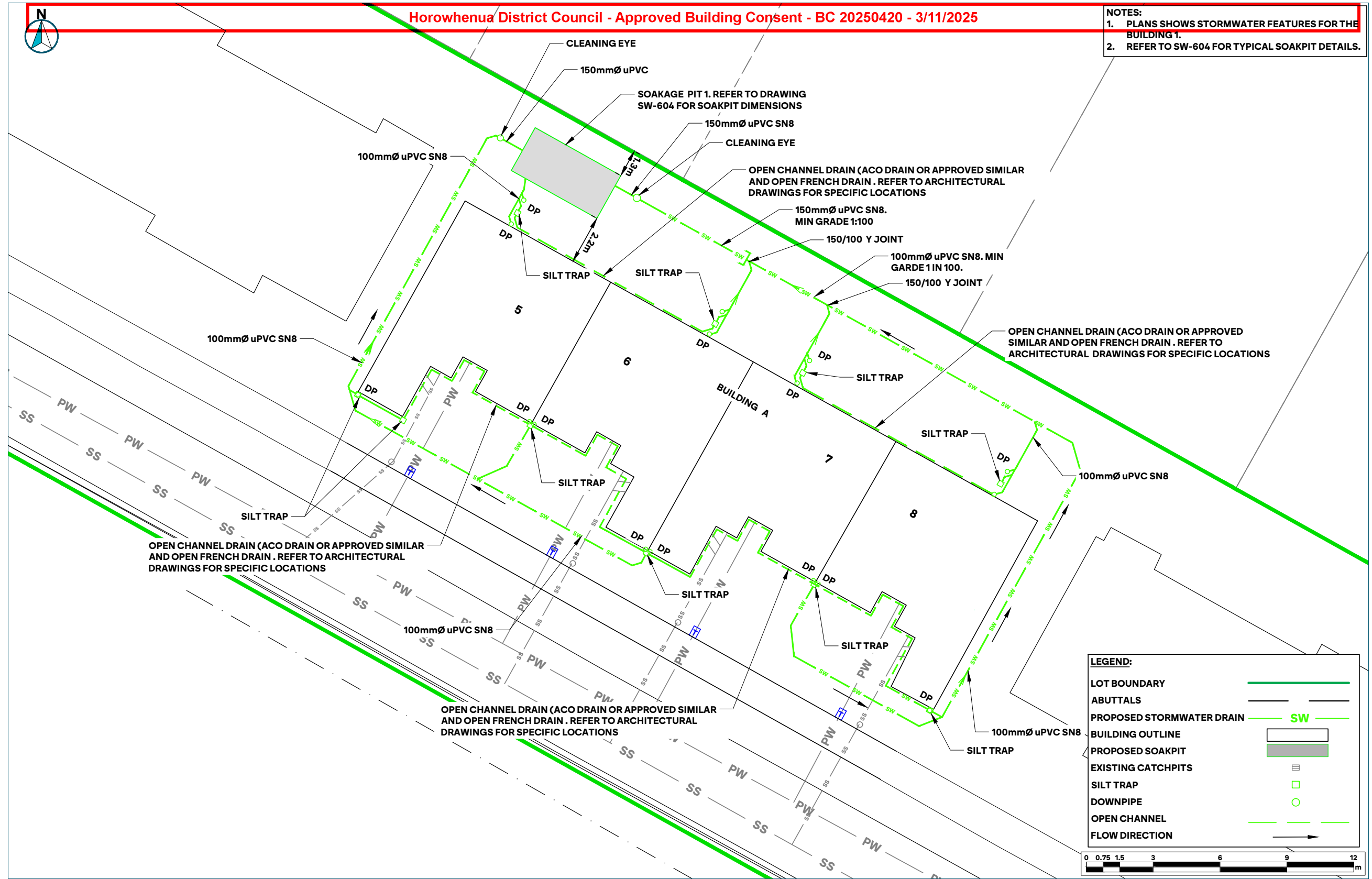
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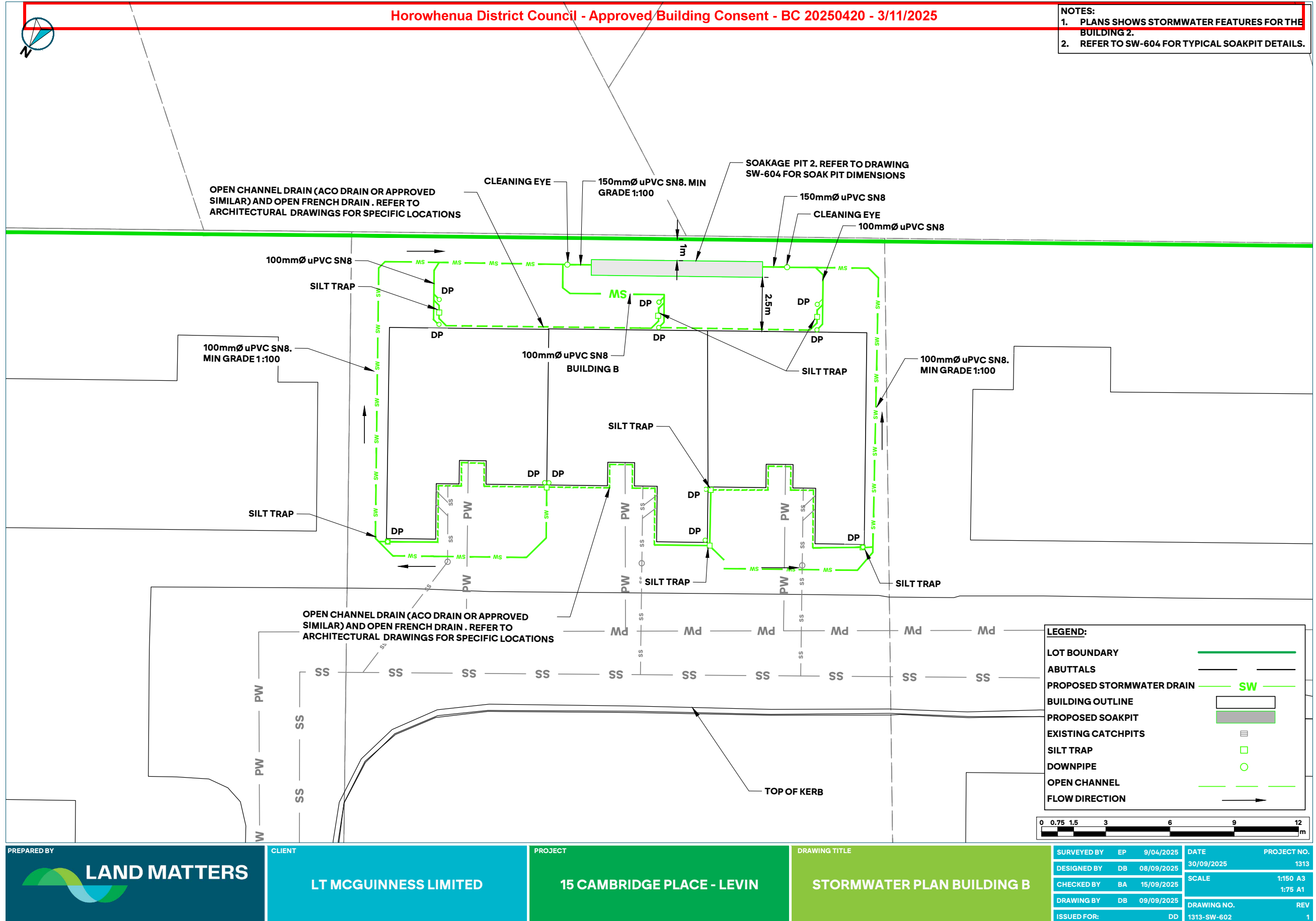
PREPARED BY 	CLIENT LT MCGUINNESS LIMITED	PROJECT 15 CAMBRIDGE PLACE - LEVIN	DRAWING TITLE POTABLE WATER NETWORK PLAN BUILDING C	SURVEYED BY: EP 08/09/2022	DATE: 24/09/2025	PROJECT NO.: 1313
				DESIGNED BY: DB 08/09/2025	SCALE: 1:150 A3 1:75 A1	DRAWING NO.: 1313-PW-503
				CHECKED BY: BA 15/09/2025	DRAWING NO.: 1313-PW-503	REV: 1
				DRAWING BY: DB 09/09/2025		
				ISSUED FOR: DD		

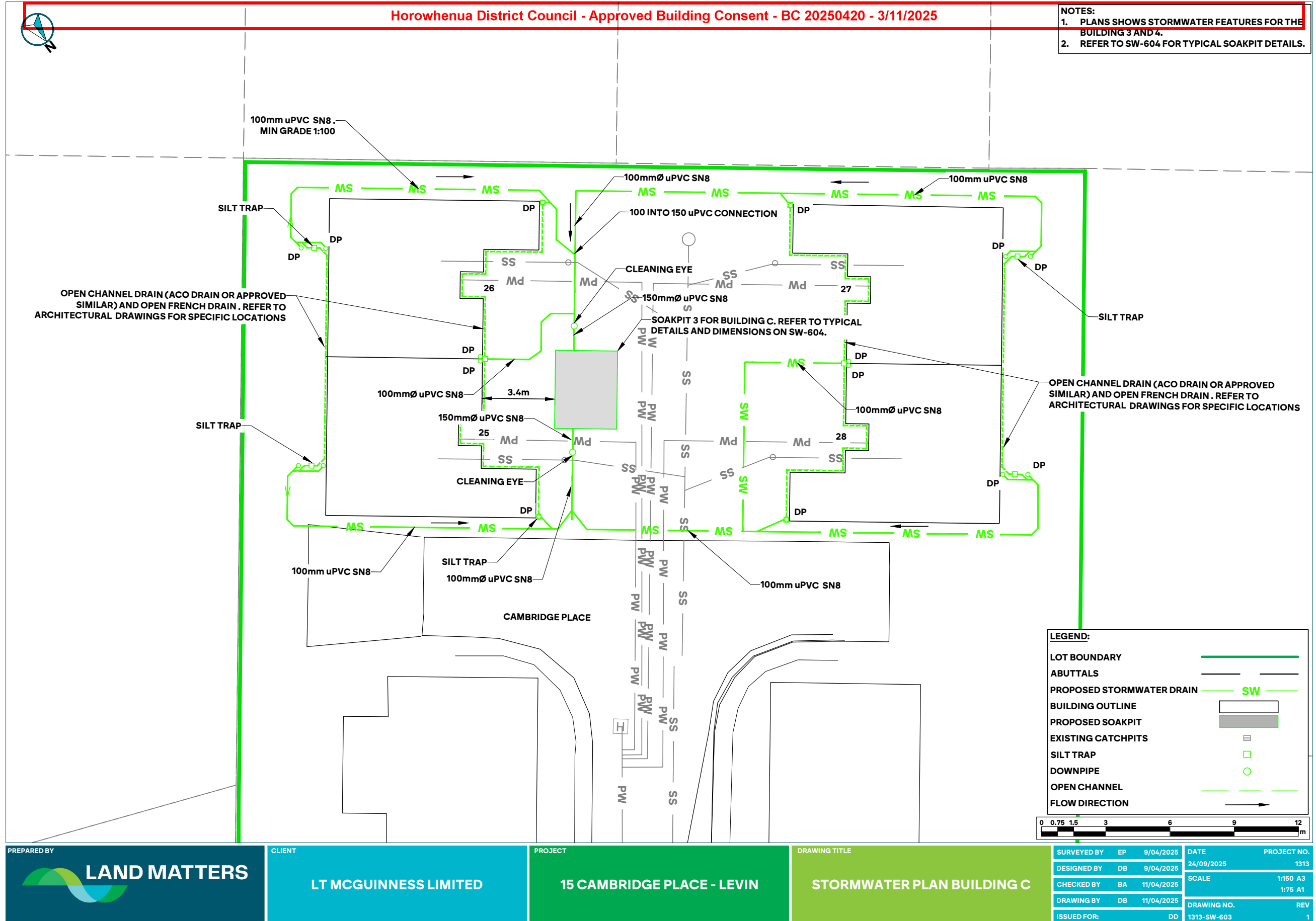


PREPARED BY 	CLIENT LT MCGUINNESS LIMITED	PROJECT 15 CAMBRIDGE PLACE - LEVIN	DRAWING TITLE STORMWATER PLAN	SURVEYED BY: EP 9/04/2025	DATE: 24/09/2025	PROJECT NO.: 1313
				DESIGNED BY: DB 08/09/2025	SCALE: 1:750 A3 1:375 A1	
				CHECKED BY: BA 15/09/2025	DRAWING NO.: 1313-SW-600	REV: 1
				DRAWING BY: DB 09/09/2025		
				ISSUED FOR: DD		



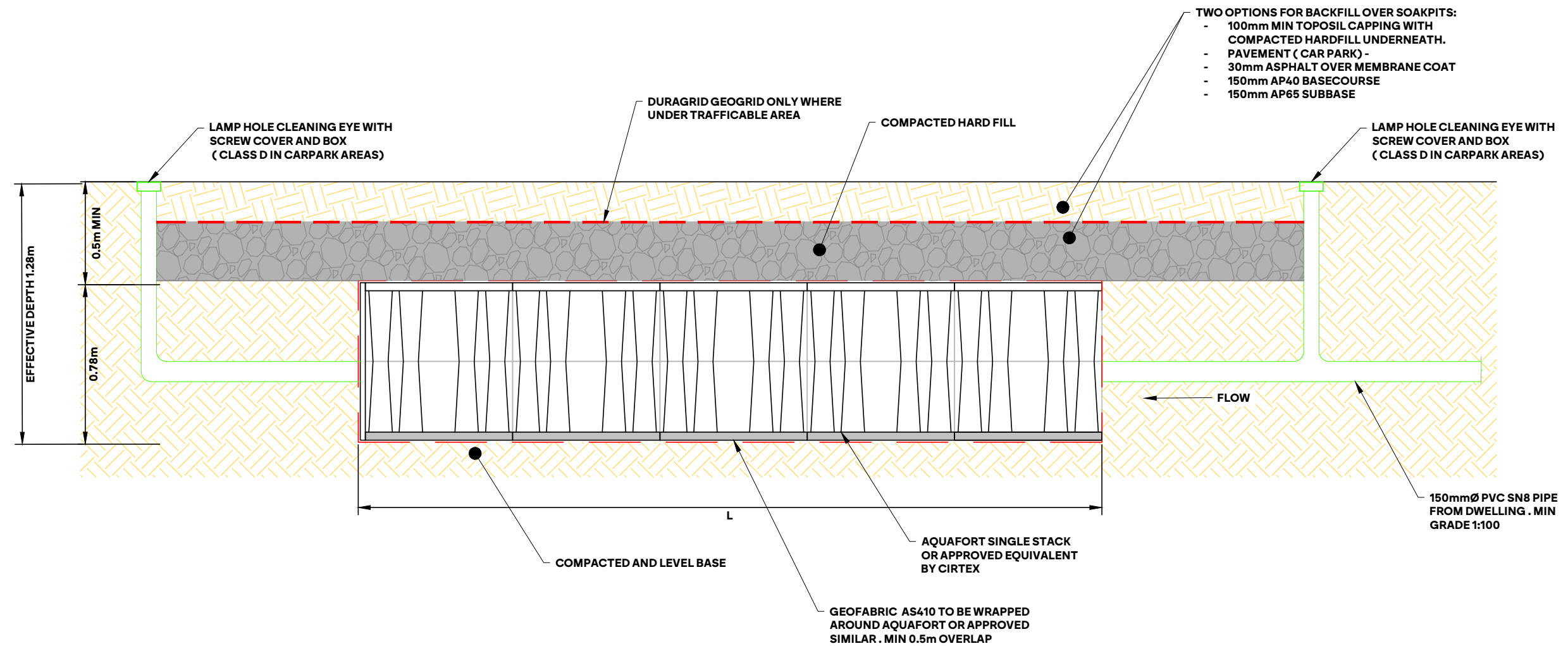
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	LT MCGUINNESS LIMITED	15 CAMBRIDGE PLACE - LEVIN	STORMWATER PLAN BUILDING A	DESIGNED BY	DB	08/09/2025	24/09/2025	1313
				CHECKED BY	BA	15/09/2025	SCALE	1:150 A3 1:75 A1
				DRAWING BY	DB	09/09/2025	DRAWING NO.	REV
				ISSUED FOR:	DD		1313-SW-601	1





Horowhenua District Council - Approved Building Consent - BC 20250420 - 3/11/2025

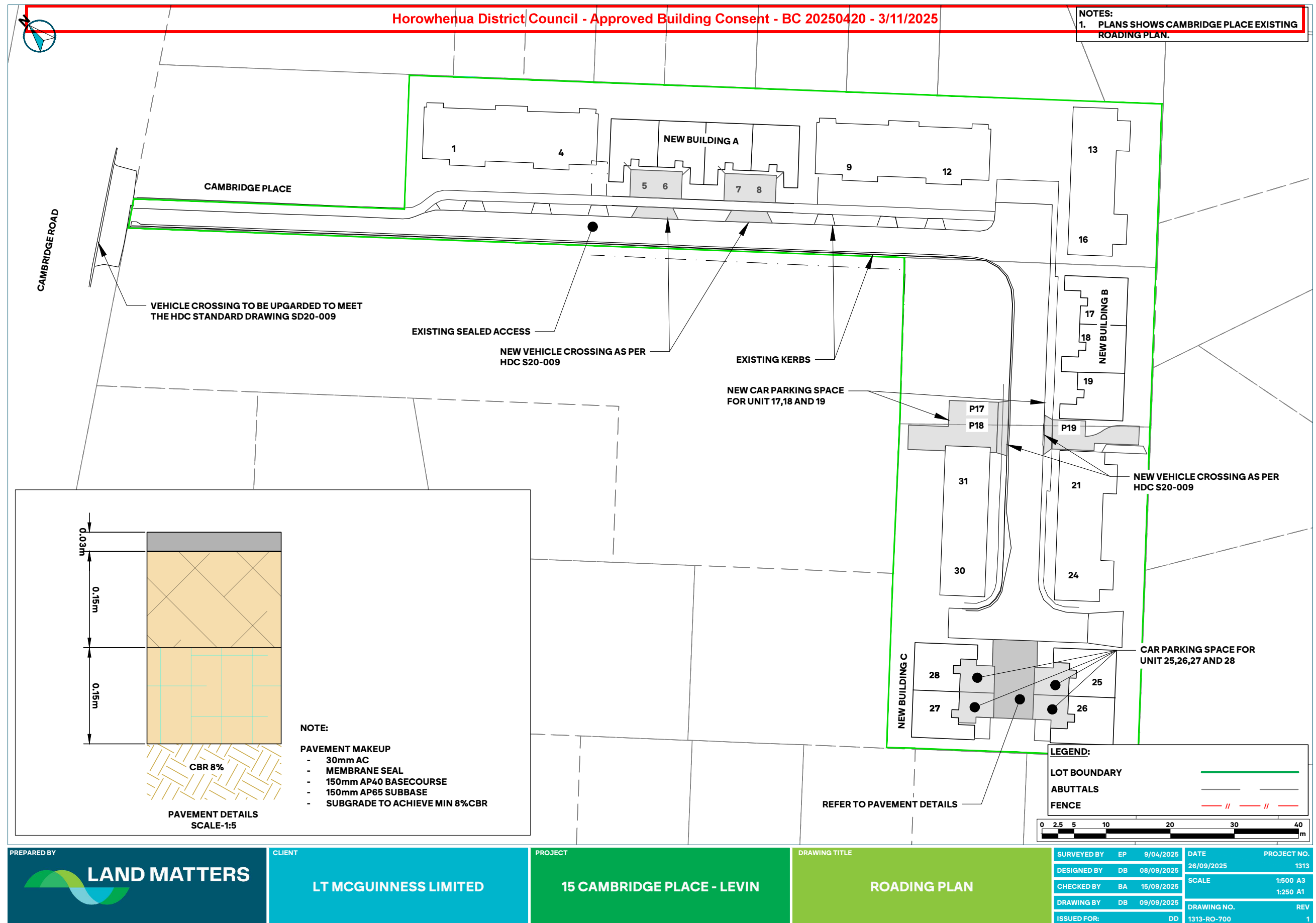
NOTES:
1. THIS PLAN SHOWS TYPICAL DETAILS OF SOAK PIT.
2. SOAK PIT TO BE INSTALLED IN ACCORDANCE WITH CIRTEX AQUAFORT INSTALLATION GUIDELINES.

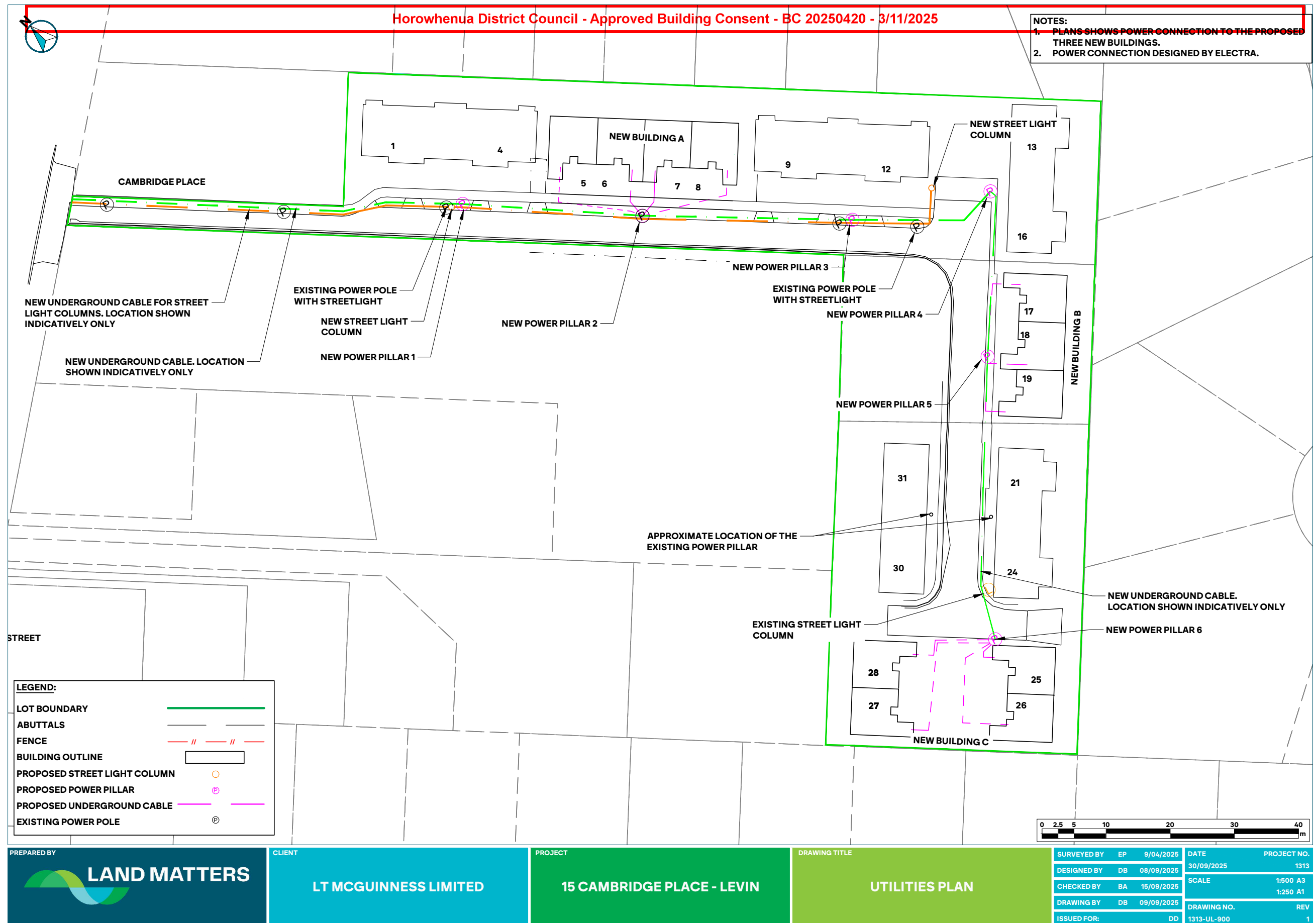


SOAKPIT DETAILS				
BUILDING ID	LENGTH (L)(m)	WIDTH (m)	CRATE DEPTH (m)	EFFECTIVE DEPTH (m)
A	4.4	2.2	0.78	1.28
B	8.0	0.73	1.12	1.62
C	3.7	2.9	0.78	1.28

PREPARED BY LAND MATTERS	CLIENT LT MCGUINNESS LIMITED	PROJECT 15 CAMBRIDGE PLACE - LEVIN	DRAWING TITLE TYPICAL SOAKPIT DETAIL	<table border="1" style="font-size: 8px; border-collapse: collapse;"> <tr> <td>SURVEYED BY</td> <td>EP</td> <td>9/04/2025</td> <td>DATE</td> <td>24/09/2025</td> <td>PROJECT NO.</td> <td>1313</td> </tr> <tr> <td>DESIGNED BY</td> <td>DB</td> <td>08/09/2025</td> <td>SCALE</td> <td>1:20 A3</td> <td>1:10 A1</td> <td></td> </tr> <tr> <td>CHECKED BY</td> <td>BA</td> <td>15/09/2025</td> <td>DRAWING NO.</td> <td>1313-SW-604</td> <td>REV</td> <td>1</td> </tr> <tr> <td>DRAWING BY</td> <td>DB</td> <td>09/09/2025</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>ISSUED FOR:</td> <td>DD</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table>	SURVEYED BY	EP	9/04/2025	DATE	24/09/2025	PROJECT NO.	1313	DESIGNED BY	DB	08/09/2025	SCALE	1:20 A3	1:10 A1		CHECKED BY	BA	15/09/2025	DRAWING NO.	1313-SW-604	REV	1	DRAWING BY	DB	09/09/2025					ISSUED FOR:	DD					
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**APPROVAL OF RESOURCE CONSENT FOR A LAND USE CONSENT TO
CONSTRUCT 11 DWELLING UNITS AT 1-40 CAMBRIDGE PLACE, LEVIN
(LOT 1 DP 19658, PT LOT 2 DP 17841, PT LOT 3 DP 1406)**

RM number:	LUC/501/2025/18
Date:	21 August 2025
Site Address:	1-40 Cambridge Place, Levin
Legal Description:	Lot 1 DP 19658, Part Lot 2 DP 17841 Part Lot 3 DP 1406 (RT: WN905/48)
Applicant:	Compassion Horowhenua Ltd Partnership
Address for service:	alistair@urbanp.co.nz Attn: Alistair Aburn – Urban Perspectives Ltd

Council granted consent for the following reasons:

- Pursuant to section 95A and 95B of the Act, there are no mandatory requirements to notify the application, the effects of the proposal on the environment will be less than minor and there are no affected persons.
- Pursuant to section 104 of the Act, the effects of the proposal on the environment will be acceptable.
- A Council Development Engineer assessed the proposal and concluded it can meet the necessary engineering standards, subject to the imposition of conditions.
- Conditions imposed on the consent under sections 108 of the Resource Management Act 1991 will control, mitigate and remedy any environmental effects caused by the proposal.
- The proposal is in accordance with the relevant objectives and policies of the District Plan.
- Council has given due regard to the New Zealand Coastal Policy Statement, any national, regional or proposed regional policy statement and any other regulations in reaching its decision.
- The proposal is consistent with the purposes and principles of Part II of the Resource Management Act 1991.



1. PROPOSAL

The applicant's Assessment of Environmental Effects ("AEE") includes a description of the proposal, which I adopt for the purposes of this report. The applicant's proposal description should be read in conjunction with this report.

In summary, Compassion Horowhenua Ltd (hereafter referred to as the applicant) seeks to obtain a land use consent for the construction of an additional 11 new dwelling units on the site at 1-40 Cambridge Place, Levin. The proposal meets the definition of an integrated residential development as defined under the District Plan. Therefore, the application is for a land use consent for an integrated residential development on the site.

Specifically, the proposal is to construct four new duplex buildings that are to be single story and contain 11 total residential units across the four buildings. This will result in a total of 27 residential units on the application site.

The application site, and new dwelling units, will continue to be serviced via the existing three waters and vehicle access arrangements for the application site. A total of 27 on-site carparks will be provided on site, being an increase of 11 additional parks as part of this application.

The applicant, in their AEE, has provided the following supporting information, as appendices to the application:

- Urban Design Assessment prepared by Urban Perspectives Ltd
- Transport Impact Assessment prepared by Urban Connections
- 3 Waters Engineering Report prepared by Land Matters
- Geotechnical Assessment prepared by Torlesse

The location of the site is shown in Figure 1 below and a copy of the site plan is given below in Figure 2 showing the proposed building.



Figure 1: Site aerial



Figure 2: Extract of proposed location plan for the proposal

Further information was sought from the applicant in regard to clarification on the rubbish and recycling arrangement for the proposal. The request was satisfied in full by the applicant and completed on 1 July 2025.

2. SITE DESCRIPTION

The applicant's AEE includes a description of the site and its immediate surroundings. Following a desktop assessment of the site, I consider that this description is generally accurate particularly that the property is surrounded by properties of a similar size and density to the application site. All surrounding sites are either residentially developed or contain community/commercial facilities, in a similar fashion to the application site.

In summary, the site is zoned residential (Levin Koputaroa Landscape Domain) and is located at 1-40 Cambridge Place, Levin. The site is legally described as Lot 1 DP 19658, Part Lot 2 DP 17841 and Part Lot 3 DP 1406, which has a total area of 6,202m² and is held in Record of Title WN905/48.



This property is well established with five duplex buildings, containing 16 residential units, currently located on the site. There are also large areas of carparking, and spacious areas of lawn and established vegetation. It is also noted that the overall site previously contained a total of 36 residential units, 16 of which were demolished circa 2007 as part of a modernisation project undertaken at the site. At this time, 8 of the existing units were converted to four larger sized units.

The topography of the site is flat with access gained via an existing cul-de-sac directly from Cambridge Street. This is a formed entranceway/road, with a footpath and kerb and channel, leading to the internal vehicle circulation and parking arrangements on the site.

The property is fully serviced for water supply, wastewater disposal, and utilities. Stormwater from the access will remain unchanged and drains into the existing sump located at the start of Cambridge Place. This sump connects into the council network on Cambridge Street which is a 450mm Ø RC pipe. The stormwater from the buildings is disposed in existing soakpits. The proposed buildings will dispose of stormwater into new soakpits.

Surrounding the site are properties also zoned General Residential. The adjoining properties to the north and east of the site are existing, well-engrained, residential areas containing a variety of development types containing both standalone and duplex housing. These patterns are at a similar scale to the existing development on the application site. To the west of the site are properties containing well-established non-residential activities.

The applicant's AEE should be read in conjunction with the above and this report.

3. RELEVANT PLANNING RULES AND REGULATIONS

District Plan

The application site lies within the Residential Zone of the District Plan and is shown to be subject to the following District Plan notations:

- Levin Koputaroa Domain

The District Plan provides the following definition for an 'Integrated Residential Development':

means a residential development on any site or amalgamation of sites greater than 2000m² that:

- *is designed to function and be managed as a single, integrated development;*
- *contains a mix of dwelling unit type (e.g. detached, semi-detached, multi-unit);*
- *includes provision for shared or communal facilities such as healthcare facilities, recreational/leisure facilities, open space, access, loading spaces, parking and manoeuvring, that are accessible from, and can be used by, the residents or tenants of the development and their visitors; and*
- *is constructed in one or more stages.*



The proposed development is considered to meet the definition above and therefore, land use consent is sought pursuant to REZ-GRZ-R14 as a Restricted Discretionary Activity.

Under the above rule, compliance is not required against the standards of the Plan for bulk and location however, for context, an assessment of the standards is provided below. The proposed building and residential dwelling units have been assessed against the following relevant rules and standards:

Overview of Rule	Description
Land use component - Residential standards under REZ-GRZ-R1	
<p>GRZ-S1 – Number of Residential Dwelling Units and Family Flats</p> <p>Up to two residential dwelling units per site, subject to demonstrating that a minimum notional net site area can be provided for each unit. The minimum notional net site area required for each dwelling unit is the same as the minimum net site area required for each lot if the site were to be subdivided as a controlled activity (Table 15-4)</p>	<p>Does not Comply.</p> <p>11 additional, giving a total of 27 dwelling units are proposed on the underlying title. As such, the proposal will result in multiple dwellings on one lot and unable to comply with this rule.</p>
<p>GRZ-S3 – Daylight Setback Envelope</p> <p>(a) No part of any building shall encroach outside an envelope created, in relation to each site boundary except a boundary with a street, by a line drawn vertically 2.7 metres above the ground level at the boundary and inclined at an angle of 45 degrees (1:1 slope) inwards from that point.</p>	<p>Complies.</p> <p>The dwellings will be able to comply with these standards in regard to all boundaries.</p>
<p>GRZ-S4 – Building Setback From Boundaries</p> <p>(a) No building shall be located closer than 4 metres from any road boundary, except that a 5 metre</p>	<p>Complies.</p> <p>The dwellings will be able to comply with these standards in regard to all boundaries.</p>



<p>long vehicle standing space shall be provided between the road boundary and any structure housing a vehicle where the vehicle takes direct access to the structure from the road.</p> <p>(b) No building shall be located closer than 1.5 metres from any other site boundary.</p> <p>(iv) Separation Distance Between Detached Residential Dwelling Units:</p> <p>no detached residential dwelling unit shall be located closer than 3 metres from any other detached residential dwelling unit on the site.</p>	
<p>GRZ-S6 – Private Outdoor Living Area</p> <p>(b) All residential dwelling units on sites smaller than 330m² shall have a private outdoor living area which is at least 20m² in area, and capable of containing a circle 2.5 metres in diameter that is oriented to the east, west or north of the unit and directly connects to a main living area.</p>	<p>Complies.</p> <p>The dwellings can comply with this standard.</p>
<p>GRZ-S7 – Maximum Building Coverage</p> <p>(a) On sites greater than 500m² the proportion of any net site area covered by buildings shall not exceed 35%.</p>	<p>Complies.</p> <p>As shown on the proposed plans.</p>

The proposed land use is for an Integrated Residential Development under REZ-GRZ-R14.

REZ-GRZ-R14 outlines the matters of discretion that Council is restricted to and reads as follows:



- a) *The site layout and configuration of buildings, and the quality of the space between and around them.*
- b) *The design, scale and appearance of buildings, fencing and hard surfacing, including the coherence between buildings and the integration of built form.*
- c) *The potential visual effects of the development and level of change to the character of the existing urban environment, including streetscape and adjacent properties.*
- d) *The design and ongoing maintenance of landscaping within the site.*
- e) *The management of stormwater, wastewater, water supply and other servicing.*
- f) *The provision of adequate, manoeuvring and safe access to the site.*
- g) *The management of traffic generated and potential adverse effects on the safety and efficiency of the street network.*
- h) *The effects on significant sites and features, including natural, cultural, archaeological and historical sites.*

As a result, I consider the proposal to be a Restricted Discretionary Activity.

District Plan Change

There is no District Plan change that is considered relevant to this application.

National Environmental Standards

The proposal does not require assessment under any National Environmental Standards.

Permitted Baseline

Due to the nature of the proposal and the existing development contained within the application site. There is no permitted baseline that is considered relevant to the consideration of this application. It is noted that the site is zoned residential and is a large site in the context of residential allotments. Therefore, residential of some nature, to a size and scale commensurate with the site area, is somewhat expected for a site of this kind.

4. REFERRALS

The application was referred to Council's Development Engineer who provided comments relating to access, servicing, compliance with SNZ PAS 4509:2008 for a suitable fire-fighting water supply, as well relevant hazards identified on the application site. These comments are outlined within the Development Engineer's Report. I concur with the recommended conditions, should consent be granted.

5. NOTIFICATION ASSESSMENT

Council must assess any resource consent application under section 95 of the Resource Management Act 1991 to determine whether a resource consent application should be notified. The Resource Management Act 1991 details a four-step process that must be followed and triggers or precludes notification of applications in certain circumstances. The sections below



follow the four-step process for public notification (under section 95A) and limited notification (under section 95B).

5.1 - Public Notification Steps Under Section 95A

Pursuant to section 95A of the Resource Management Act, this section follows the four-step process to determine if public notification is required.

Step 1 - Public notification is mandatory in certain circumstances

Public notification is mandatory in certain circumstances:

Has the applicant requested public notification?	No
Is public notification required under s95C?	No
Is the application made jointly with an application to exchange recreation reserve land under s15AA of the Reserves Act?	No

Public notification is not mandatory under step 1.

Step 2 - Public notification is precluded in certain circumstances

If public notification is not required under step 1 it may be precluded in certain circumstances (unless special circumstances apply under step 4):

Are all activities in the application subject to a rule in a Plan or National Environmental Standard precluding public notification?	No
Is the application for one or more of the following (but no other) activities? <ul style="list-style-type: none"> ▪ A controlled activity ▪ A boundary activity with a restricted discretionary, discretionary or non-complying activity status 	No

Public notification is not precluded under step 2.

Step 3 - Public notification is required in certain circumstances

If public notification precluded under step 2, public notification may be required in certain circumstances:

Is any activity in the application subject to a rule in a Plan or National Environmental Standard that requires public notification?	No
Does the activity have, or is likely to have, adverse environmental effects that are more than minor in accordance with s95D?	No (see assessment below)



Considerations pursuant to Section 95D:

Public notification is required under step 3 if the activity will have or is likely to have adverse effects on the environment that are more than minor.

In considering if the adverse effects on the environment are more than minor, the effects on persons who own or occupy the land in, on, or over which the activity will occur; or any land adjacent to that land must be disregarded. I have therefore disregarded the effects on the persons who own or occupy properties adjoining the application site in making an assessment under s95D.

As outlined above, the proposal is for a Restricted Discretionary activity, therefore the plan specifies specific matters of discretion for assessing the application. The following matters are considered relevant to this application:

Traffic Effects

The traffic effects of the proposed development would not be noticeable beyond the adjacent properties. Although creating extra residential units and a subsequent increase in traffic movements, the effects that the proposal will have on the roading network can be readily absorbed by the wider roading environment and are considered no more than minor. The dwelling units will have direct vehicle access to Cambridge Place and then out to Cambridge Street. This road area is considered to be sufficient to absorb any additional vehicle movements as a result of this development. The applicant has supplied a Transport assessment as part of the AEE which provides the same conclusion. Furthermore, Council's Roading Manager and Development Engineer have assessed the application and supporting assessments and do not raise any concerns regarding the impact of any additional traffic movements from the proposal on the local transport network in this location to an extent that would consider any such effects to be greater than no more than minor.

Visual & Character

The proposal will not have any adverse effects beyond that of the adjacent properties. The development will be visible from the adjacent land in all directions, and will not have any adverse effect on the surrounding character that would be unexpected or unanticipated for development within the Residential Zone. Therefore, effects are considered to be no more than minor.

The application site is a rear site with an irregular shape that is surrounded by residential land in all directions. The siting and configuration of the proposed development has been designed to ensure that the proposed dwellings are located in between the existing buildings located on the application site and away from the road frontage. The new dwellings are to be incorporated with the existing development on the remainder of the site. It is important to note that the existing development is well-established on the site and forms an engrained part of the existing residential environment in the wider area. The new development will be screened from the road frontage by the existing development within the lot. The proposed dwellings are all single level



and will be of a similar size and scale to the existing duplexes already located on the site. This development typology is also of a similar scale and intensity to the nearby single-storey residential form of other sites within the residential area. The proposed development has been designed in a manner that provides for the majority of the development to be constructed away from the street frontage, with the Cambridge Street frontage limited to the existing development. All dwelling units are contained within duplex style buildings and will comply with the residential bulk and location standards. Furthermore, when viewed from the wider environment, the new dwellings will be screened by the existing development contained within the adjoining properties outlined above. Notwithstanding this, whilst the dwellings are not to be contained within individual allotments, they have been separated in a manner that, from a visual perspective, will present a similar outcome to that of a subdivision. When viewed from a distance, the proposed dwellings will represent a residential development typology that is commensurate with the surrounding residential area and therefore will not result in any visual effects that would be considered as more than minor.

The application, and AEE, has considered the visual and amenity effects of the proposal on the streetscape and has been designed in a manner that does not generate effects that would be more than minor on the surrounding environment. In particular, the AEE is supported by an urban design assessment that concludes that the proposed development and the overall site *"will have little impact on the adjacent streetscape or the character of the surrounding residential environment"*.

I agree with the assessments contained within the AEE and consider that these should be read in conjunction with this report. I do not consider that the proposed development will generate any effects on the wider environment that will be minor, or more than minor. For the reasons outlined above, the proposed integrated residential development is not considered to result in any adverse effects on the streetscape, and wider, environment that would be discernible from the wider area. The proposal will not detract from what is provided for in the surrounding Residential Zone. Any potential or actual amenity and character effects will be indiscernible from the wider environment for these reasons. Therefore, the proposed development is not considered to generate any new effects on the surrounding environment that are over and above what currently exists on the application site, or that are considered to be more than minor.

Servicing and access

The proposed development will have an effect on the water, stormwater and wastewater connections due to additional residential units requiring connection to this infrastructure. In addition, on-site stormwater and an access have been provided. The applicant has provided a 3-waters assessment report that concludes that the proposal can be adequately serviced from a 3-waters perspective. Council's Development Engineer has reviewed the application and supporting report and has not expressed any concerns with the design, connection to and provision of infrastructure and associated vehicle access and parking therefore these effects are considered to be less than minor.



Access to proposal will be via the existing and formed Cambridge Place roading environment. Council's Development Engineer has reviewed this application and does not raise any concerns with the proposal. Therefore, the proposal does not give rise to any new effects that would be considered greater than what currently exists onsite.

The site will continue to be connected to Council's reticulated water and wastewater networks, and stormwater from the road. Stormwater from the dwelling units is proposed to be disposed of on-site via soak-pits. Council's Development Engineer has assessed the application and considers the dwelling units can be adequately serviced and the servicing arrangements can comply with the District Plan and Council's Subdivision and Development Principles and Requirements 2014.

As assessed above, the adverse effects on the environment are considered to be no more than minor.

Public notification is not required under step 3.

Step 4 – Public notification is required in special circumstances

If public notification is not required under step 3 public notification may still be warranted where there are special circumstances:

Do special circumstances exist that warrant public notification?	No
--	----

Special circumstances have been defined as circumstances that are unusual or exceptional but may be less than extraordinary or unique. This consent application relates to a residential development on a site within the Residential Zone. The proposal can comply with the standards under the District Plan allowing for residential development apart from those listed above.

Based on this assessment, I do not consider there to be any unusual or exceptional circumstances that warrant public notification of this proposal.

Conclusion

Public notification is not required.

5.2 - Limited Notification Steps Under Section 95B

As determined in section 5.1 of this report, public notification is not required. Pursuant to section 95B of the Resource Management Act, a four-step process must therefore be followed to determine if limited notification is required.



Step 1 – Certain affected groups/persons must be notified

Limited notification is mandatory for certain groups/persons:

Are there affected customary rights groups?	No
Are there affected customary marine title groups (for accommodated activities)?	No
Is the proposal on or adjacent to, or may affect, land that is subject to a statutory acknowledgement and whether the person to whom the statutory acknowledgement is made affected under section 95E?	No

Limited notification is not required under step 1.

Step 2 – Limited notification is precluded in certain circumstances

Limited notification to any other persons not referenced in step 1 is precluded in certain circumstances (unless special circumstances apply under step 4):

Are all activities in the application subject to a rule in a Plan or National Environmental Standard precluding limited notification?	No
Is the application for a controlled activity (other than a subdivision) under the District Plan	No

Limited notification is not precluded under step 2.

Step 3 – Certain other persons must be notified

If limited notification is not precluded under step 2, limited notification is required for any persons found affected under s95E:

Are any of the following persons 'affected' under s95E? For 'boundary activities' an owner of an allotment with an 'infringed boundary'	No (see below assessment)
For all other activities, are there any affected persons in accordance with s95E?	No (see below assessment)

In accordance with s95E are there any affected persons?

In accordance with section 95E, I have considered whether the proposal could adversely affect any other persons. I consider there to be no affected persons as the potential effects will be less than minor for the following reasons:

In regard to the adjacent properties highlighted in blue, in Figure 3 below:



Figure 3: Aerial image highlighting the adjoining properties to the application site

Potential effects on adjoining properties

As outlined above, the development is considered to be in-keeping with the surrounding residential environment. The proposal enables residential redevelopment of a site that is currently residentially zoned. As a result, the permitted activity bulk and location requirements for residential development have been used as a basis for assessment of the proposed dwellings.

Any adverse effects associated with the proposed integrated residential development will not result in any adverse effects beyond the application site. The proposed single level dwellings can be viewed as in keeping with the surrounding development patterns from beyond the application site. It is important to note that the proposed dwellings, and the existing dwellings,



are considered to form an integrated residential development which is provided for in the District Plan. Whilst not required to demonstrate compliance with the specific performance of the Plan in relation to height to boundary, separation distance, on-site amenity, and site coverage, it is important to note that the total built form on the site is able to comply with all of these standards with respect to the external boundaries. In particular, the site will be able to comply with the site coverage requirements under the Plan. The new buildings are separated into four separate duplexes and constructed of modern materials. The new buildings will be of a similar size and scale to the existing buildings on the site and due to the separation between buildings, will maintain a residential style development typology that is similar to that of the surrounding sites.

Furthermore:

- Fencing and landscaping within the site will provide an effective screen between ground level activities on the subject site and the adjoining neighbours.
- The existing development will assist in screening the proposed new buildings when viewing from adjacent properties.
- The development is screened in multiple directions by the existing buildings on the site and no effects are expected to arise.
- The development represents a single level, residential development, on a residentially zoned site. The development will be separated from these properties by fencing and will comply with the height recession and setback requirements in regard to all boundaries ensuring no shading or privacy matters arise. The development is commensurate with the residential development patterns in the surrounding area and will not result in a typology that is unexpected or results in adverse boundary effects in regard to these properties.
- The outdoor areas surrounding for the proposed units will provide a visual buffer from the proposed development for these neighbours. The proposed residential development complies with all the bulk and location standards the requirements of setbacks, maximum height recession planes and outdoor living spaces.
- The overall site coverage on this site will be compliant. The majority of the bulk on the site is associated with the existing buildings on the application site which are considered to form an engrained part of the existing environment.
- The proposed density of development will be compatible with development anticipated for the site.
- The proposed development will not adversely impact the existing outdoor living area for these neighbours.
- The proposed dwellings are single storey and will avoid any privacy issues.
- Any adverse effects associated with non-compliances will be internal to the site and will not result in any adverse effects beyond the application site. As such, any potential adverse visual amenity effects will be less than minor.
- Considering the above, any visual and amenity effects are therefore considered to be less than minor on the above neighbours.



Based on the assessment above, I do not consider that the proposed development will generate any effects on the adjacent properties that will be minor, or more than minor. The effects of this proposal are considered to be commensurate with what can be reasonably expected for development within the residential area. Furthermore, any potential effects are considered to only generate effects that are internal to the application site itself.

Limited notification is not required under step 3.

Step 4 – Limited notification is required under special circumstances

If limited notification is not required under step 3, limited notification may still be warranted where there are special circumstances:

Do special circumstances exist that warrant notification of any persons to whom limited notification would otherwise be precluded?	No
--	----

Conclusion

Limited notification is not required.

5.3 – Overall Notification Decision

In accordance with the notification steps identified in section 5.1 and 5.2 of this report, the application shall proceed on a non-notified basis.

6. DETERMINING THE APPLICATION

The statutory framework for the Council’s consideration of the application is identified in Section 6 of the application, namely Sections 88, 104, 104C and 108 of the RMA. In considering an application for resource consent, the Council must, pursuant to Section 104(1) of the RMA and subject to Part 2, have regard to:

- Any actual or potential effects on the environment of allowing the activity
- Any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity
- Any relevant provisions of a national policy statement, New Zealand coastal policy statement, a regional policy statement, a plan or proposed plan; and
- Any other matter Council considers relevant and reasonably necessary to determine the application.

The Council may also, pursuant to Section 104C of the RMA, grant or refuse consent to the application and impose conditions, pursuant to Section 108, should consent be granted.



6.1 – Section 104(1)(A): Effects Assessment

Adverse Effects:

An assessment of the effects on the environment has been made above and in the AEE completed and supplied by the applicant as part of this application. I consider the applicant's AEE to be accurate and relevant and therefore should be read in conjunction with this assessment. The matters discussed and the conclusions reached are also applicable with regard to the adverse effects assessment under section 104(1)(a) of the Act and no further assessment is required.

The AEE provides a detailed assessment in accordance with all matters outlined under the District Plan and it is evident that the proposal has been designed in general accordance with the medium density design guide. I concur with and adopt in full the assessment provided within the application. For brevity I do not repeat the assessment but considered that it be read in conjunction with the matters addressed in this report.

I consider that the activity will not have or be likely to have adverse effects on the environment that are more than minor beyond the subject land and adjacent land. Further, I consider that any potential adverse effects on the subject land or adjacent land will be less than minor.

Internal amenity:

As outlined above, the applicant has provided an urban design assessment with the application that also addresses the internal layout of the proposal. The assessment concludes:

The Proposal is consistent with the relevant guidelines as it promotes good-quality residential development based on the integrated and comprehensive approach to the planning and design of the buildings, open spaces and vehicle access, while ensuring good on-site amenity with regard to sunlight, daylight and privacy and provision of private outdoor living areas.

The proposed new units relate well to the existing units in terms of alignment, setbacks, separation distances and overall form/scale, thereby contributing to an integrated spatial outcome.

Located on an internal site with no direct visual relationship to the adjacent Cambridge Street, the Proposal will not affect the character of the existing streetscape. The single storey height of the new units will not impact in any significant way on the adjacent residential properties, some of which accommodate buildings of comparable bulk/scale.

I agree with the summary above and the assessment contained in the urban design report in regard to internal amenity and do not consider there to be any adverse effects in this regard.



Servicing and Access:

As outlined above, the application has been reviewed by Council's Roading Manager and Development Engineer, who has not raised any concerns in regard to the proposal. The AEE includes both a transport and 3-waters assessment as outlined above, which are to be read in conjunction with this report.

The Engineer and Roading Manager consider the proposed servicing and access arrangements, including the rubbish and recycling arrangement, to be practical and in accordance with Council's standards and therefore can proceed subject to suitably worded conditions.

Natural Hazards:

The applicant has also provided a geotechnical assessment of the application site to assess any liquefaction risks and identify any recommendations that need to be incorporated by way of condition of consent, to inform the building consent process for the proposed development. The Development Engineer has reviewed the recommendations and considers that a consent condition be included to require any future development to be undertaken in accordance with the Geotechnical report provided by the applicant.

Positive Effects:

The application will provide for additional residential dwellings on the subject site within the Residential Zone. This will contribute to the District's housing stock and represents an efficient use of the finite land resource and existing infrastructure.

Conclusion:

Overall, I consider the actual or potential effects on the environment will be acceptable for the reasons outlined above.

6.2 – Section 104(1)(Ab): Measures to Ensure Positive Effects to Offset or Compensate for any Adverse Effects on the Environment

The applicant has not proposed or agreed to any measures to ensure positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity.

In this case, I consider that no measures are necessary as the actual or potential effects of the proposal have been assessed to be acceptable.

6.3 – Section 104(1)(B): Relevant Planning Provisions

I have had regard to the following planning documents:

- National Environmental Standards
- National Policy Statements



- The New Zealand Coastal Policy Statement
- The Regional Policy Statement
- The District Plan

Higher Order Planning Documents

I have given regard to the higher order planning documents specified at section 104(1)(b)(i) to 104(1)(b)(vi) of the Act. It is my opinion that, other than the National Policy Statement on Urban Development discussed below, there are no National Environmental Standards or other National Policy Statements that are directly relevant to the consideration of this proposal. Similarly, the New Zealand Coastal Policy Statement is not relevant.

National Policy Statement on Urban Development

The National Policy Statement on Urban Development (NPSUD) came into effect on 20 August 2020 and is relevant to this proposal. The NPSUD is about recognising the national significance of urban environmental and the need to enable such environments to develop and change, and to provide sufficient development capacity to meet the needs of people and communities and future generations in urban environments. The NPSUD directs decision making under the Act to ensure that planning decisions enable development through providing sufficient development capacity and ensure affordability for housing and business.

HDC is a Tier 3 Local Authority under the NPSUD and is therefore encouraged to take cognisance of the Objectives and Policies of the NPSUD.

The objectives of the NPSUD most relevant to this proposal are:

- Objective 1: New Zealand has well-functioning urban environments that enable people and communities to provide for their social, economic, and cultural wellbeing, and for their health and safety, now and into the future.
- Planning decisions improve housing affordability by supporting competitive land and development markets.
- Objective 5: Planning decisions relating to urban environments, and FDSs (Future Development Strategies), take into account the principles of the Treaty of Waitangi (Te Tiriti o Waitangi).
- Objective 6: Local Authority decisions on urban development that effect urban environments are:
 - a) Integrated with infrastructure planning and funding decisions; and
 - b) Strategic over the medium term and long term; and
 - c) Responsive, particularly in relation to proposals that could supply significant development capacity.
- In addition to this, Policies 1, 6, 10 and 11 are relevant and have been taken into account in the assessment of this proposal. The proposal has been assessed against these and any other relevant objectives and policies and is considered to achieve the outcome sought by the NPSUD.



The proposal is considered to be consistent with the NPSUD insofar as it will support Levin being a well-functioning urban environment and, through the provision of facilitating additional residential dwellings designed in a comprehensive manner, will assist people to provide for their economic and social well-being needs. The proposal represents an increase in the supply for housing within an area where residential activities are anticipated, and infrastructure is available to facilitate the development.

While the proposal may be a restricted discretionary activity under the Operative District Plan, the proposed development will not detract from the strategic medium to long term policy framework aspirations of Council that will be rolled out in accordance with the NPSUD.

Furthermore, it is worth noting that the NPSUD acknowledges that a change in character is not necessarily an adverse effect, in that this policy statement anticipates that character will change. The proposal is a representation of a variety of housing within the District, which the NPSUD supports.

Operative District Plan

I consider the applicants assessment against the relevant Objectives and Policies detailed in the AEE to be generally appropriate. I concur with the applicant's consultant that the Objectives and Policies of the Horowhenua District Plan have been appropriately considered.

On balance, this application is in general accordance with the intent of the Horowhenua District Plan, as expressed in its Objectives and Policies, as it will ultimately provide for the anticipated growth in the District and will support the utilisation of existing residential land for residential purposes and will not significantly diminish the ability of the land to support appropriate residential activities in an area where high quality developments are of significant importance.

The policy framework provides scope for intensification, redevelopment, and infill development across the residential zone that delivers good outcomes. Therefore, the primary matter for consideration is the quality of the outcome proposed, rather than the density itself. The proposed development demonstrates a comprehensive residential development that aligns with the Objectives and Policies of the Operative District Plan, providing for current and future growth and undertaken in a manner that provides quality housing stock. The proposal has also demonstrated that it is able to be undertaken without compromising the District's infrastructure capacity.

The proposal is also considered to accord with the general strategic direction of Horizon's Regional Policy Statement.

6.4 – Section 104(1)(c): Other Matters

There are no other matters the Council needs to consider when assessing the application.



6.5 – PART 2 OF THE RESOURCE MANAGEMENT ACT

I consider the proposal meets Part 2 matters of the Resource Management Act 1991. In addition, the Court of Appeal case “R J Davidson Family Trust v Marlborough District Council [2018] NZCA 316”. applies the principles of the King Salmon case to resource consents. Therefore, a full Part 2 assessment need not be undertaken provided there is no known illegality, uncertainty, or incompleteness in the relevant part of the District Plan. As there are no known illegalities, uncertainties or incompleteness with the District Plan relating to this consent therefore no further assessment against Part 2 of the Resource Management Act, 1991 is necessary.

7. RECOMMENDATION

It is recommended that the application by Compassion Horowhenua Ltd Partnership, for a land use consent to construct 11 new dwellings, being an integrated residential development, at 1-40 Cambridge Place, Levin (Lot 1 DP 19658, Part Lot 2 DP 17841 and Part Lot 3 DP 1406) held in record of title WN905/48, **be granted** for a Restricted Discretionary activity pursuant to sections 104 and 104C of the Resource Management Act 1991 for the following reasons:

1. It is considered that the activity will not have or be likely to have adverse effects on the environment that are more than minor beyond the subject land and adjacent land.
2. The effects are considered to be less than minor such that no persons have been identified as potentially affected.
3. That due regard has been given to the objectives and policies of the District Plan, and it is consistent with those provisions.

8. DECISION

Pursuant to sections 104 and 104C of the Resource Management Act 1991, the Horowhenua District Council grants resource consent to Compassion Horowhenua Ltd Partnership, to construct 11 new dwellings, being an integrated residential development, at 1-40 Cambridge Place, Levin, on a non-notified basis and subject to conditions imposed under sections 108 of the Act.

9. CONDITIONS

In accordance with sections 108 of the Resource Management Act 1991, resource consent has been granted subject to the following conditions:

General

1. The Consent Holder must undertake the land use activity on the property at 1-40 Cambridge Place, Levin legally described as Lot 1 DP 19658, Part Lot 3 DP 1406 and



Part Lot 2 DP 17841, in general accordance with the consent application, submitted plans, any further information and supporting documentation supplied, including:

- "Location Plan", Sheet A007, dated 3 April 2025
- "Ground Floor Plan", Sheet A050, dated 3 April 2025
- "Ground Floor Plan A", Sheet A100, dated 3 April 2025
- "Ground Floor Plan B", Sheet A110, dated 3 April 2025
- "Ground Floor Plan C", Sheet A120, dated 3 April 2025
- "Elevations Context", Sheet A201, dated 3 April 2025
- "Elevations North", Sheet A202, dated 3 April 2025
- "Elevations South", Sheet A203, dated 3 April 2025
- "Landscape Plan", Sheet A800, dated 3 April 2025
- "Proposed Development Plan", Engineering for 3 Waters, Drawing 1371-GA-200, Rev A, dated 11 April 2025
- "Proposed Development Plan (No Aerial)", Engineering for 3 Waters, Drawing 1371-GA-201, Rev A, dated 11 April 2025

Where there may be inconsistencies between information provided by the Applicant and conditions of the resource consent, the conditions of the resource consent will apply.

Access

2. Prior to occupation of any dwelling unit, the Consent Holder must upgrade the vehicle crossings to meet the requirements of the Operative Horowhenua District Plan (NPS Version) in accordance with Standard Drawing 20-009, accessway for approximately 200 m as denoted in the plans approved under condition 1, and the recommendations in the Traffic Impact Assessment by Urban Connection dated January 2025 and held on Council file 501.2025.18. The vehicle crossings shall be upgraded at the cost of the consent holder.

Advice Note: Prior to undertaking any work within either the formed or unformed road corridor, the Consent Holder shall submit a Corridor Access Request (CAR) that includes a Traffic Management Plan (TMP) through beforeudig.co.nz, which has been prepared by a qualified Site Traffic Management Supervisor (STMS) Level 1 qualification. No works must be undertaken within the road reserve until such time as the CAR is approved by Council's Roading Team in writing.

Worksites within the formed and/or unformed road corridor must be made safe at all times for road users, pedestrians, and contractors through the implementation of the Traffic Management Plan (TMP) approved during the Corridor Access Request process.

Water Supply

3. Prior to occupation of any dwelling unit, each dwelling must be provided with a separate 20-millimetre water connection between the current water supply line and the new dwelling, including meter, manifold and inspection box, in accordance with Horowhenua District Council's Subdivision and Development, Principles and



Requirements 2014 and as denoted in the “Proposed Development Plan” approved under condition 1.

Advice Notes: Council is to be advised in writing of the serial number of the water meter allocated to each lot. Any existing toby/ manifold that is to be reused shall have an approved meter fitted if there is not already one installed. To comply with Condition 3, all laterals must be within a Lot or protected by an easement where they cross into a neighbouring Lots.

Wastewater

4. Prior to occupation of any dwelling unit, each dwelling must be provided with a separate wastewater connection and a cleaning eye and box to the existing sewer connection for as denoted on the “Proposed Development Plan” approved under condition 1, in accordance with Horowhenua District Council’s Subdivision and Development, Principles and Requirements 2014. The connection must be installed at the cost of the Consent Holder.

Stormwater

5. That any new building/dwelling constructed, including any paved areas, must collect and dispose of stormwater via on-site soakage in accordance with Section 10 of the Horowhenua District Council’s Subdivision and Development Principles and Requirements 2014, unless otherwise approved by Council’s Development Engineer.

Advice Notes: To comply with Condition 5 above, all stormwater is required to be contained within the boundaries of the individual Lots for events less than and including a 10% AEP. Secondary flow paths are to be designed to carry a 0.5% AEP event and routed so as not to create a nuisance to neighbouring properties. Where secondary flow paths are not available or pass through private land stormwater containment on each Lot is required to be sized to handle a 1% AEP event. The Council notes that concept drawings provided as part of the application for this consent indicate no secondary flow path is available to the roadway. If this is the case then soakpits are required to be sized to handle a 1% AEP event of any duration.

6. All stormwater systems required by Condition 5 must be designed and installed by a suitably qualified person experienced in on-site stormwater disposal systems.
7. For the purposes of the design and installation of any on-site stormwater disposal system, the maximum soakage rate acceptable to Council shall be 600 mm/hour.

Landscaping

8. Prior to occupation of any dwelling unit, the Consent Holder must ensure the landscaping as per the landscaping plan approved pursuant to Condition 1 above is



fully planted and completed in accordance with the approved plan prior to the occupation of the building/dwellings, or where this is not seasonally practicable, within the first planting season after the construction of the dwellings is completed.

Any plants that fail must be immediately replaced at the expense of the Consent Holder. All plantings must continue to be maintained by the Consent Holder thereafter. If the planting is not healthy and not achieving its required mitigation purpose, then the landscaping or part thereof is to be done at the cost of the Consent Holder.

Utilities

9. Prior to occupation of any dwelling unit, the Consent Holder must ensure that each unit be supplied with utilities including power and telecommunications. All new services must be installed underground and must be in accordance with the requirements of the Horowhenua District Council's Subdivision and Development Principles and Requirements 2014.

As-Builts

10. Prior to occupation of any dwelling unit, or at the completion of construction works, the Consent Holder must provide "As-Built" plans and information detailing all services for the development approved under this consent to the Chief Executive of Horowhenua District Council. The Plans must comply with Councils "As-Built" Requirements in Engineering Appendix Five and must be certified by a professional or suitably qualified person as a true and correct record.

Advice Note: All as-builts are to be provided with a vertical datum based upon the Wellington Vertical Datum 1953.

Geotechnical

11. All development, foundation design or earthworks on the lot must be undertaken in accordance with the findings and recommendations contained within the site-specific Geotechnical report prepared by Torlesse Ltd, dated 10 April 2025 and held on Council's filing system with Project file 501/2025/18. A foundation design for any new habitable building or other building structure requiring a building consent shall be supplied to Council at the time of that the building consent application is lodged.

Miscellaneous

12. All earth-worked/exposed areas shall be top-soiled and grassed/re-vegetated or otherwise permanently stabilised. The earth-worked/exposed areas shall be covered with a minimum of 100 millimetres of topsoil and grassed (especially on road reserve) with a 95% strike rate.



13. The Consent Holder must remedy any damage to existing Council infrastructure resulting from work carried out directly or indirectly under this consent at their own cost within 14 days of such damage or as otherwise directed by a Council Officer.

Report prepared by:

A handwritten signature in black ink, appearing to be 'DB', written over a light blue horizontal line.

Daniel Batley
Senior Consultant Planner

Report peer reviewed and issued under delegated by

A handwritten signature in black ink, appearing to be 'Isabella Blenkin', written over a light blue horizontal line.

Isabella Blenkin
Resource Consent Planner - Intermediate

Application lodged: 15 May 2025
Section 92 Requested: 30 June 2025
Section 92 satisfied: 1 July 2025
Application approved: 21 August 2025



10. ADVICE NOTES

- In accordance with section 198 of the Local Government Act 2002, the Council may require a development contribution to be paid to Council, calculated in accordance with the methodology provided for in the Council's Development Contributions Policy.

In accordance with the Council's Development Contributions Policy:

- the development contribution amount for this development was calculated at the time the resource consent application was received and an assessment notice is attached to this application; and
- an invoice for the calculated amount will be issued 14 days after the granting of this consent.

Section 208 of the Local Government Act 2002 provides that the Council can prevent the commencement of the resource consent, if the development contribution is not paid.

- In accordance with section 357 of the Resource Management Act 1991, the consent holder is able to object to the conditions of the consent. The consent holder must submit reasons in writing to Council within 15 working days of the date of this decision.
- Under Section 125 of the Resource Management Act 1991, your consent will lapse in five years from the decision date unless you begin your project (give effect to the consent) before then.
- The consent applies to the application as approved by Council. The consent holder should notify Council if there are changes to any part of the plans. Council may require that the consent holder submits a new resource consent application.
- The consent is not to be exercised until all charges fixed in accordance with section 36(1) of the Resource Management Act 1991 and any finalised, additional charges under section 36(3) have been paid in full.
- The consent holder is liable for costs associated with monitoring of this resource consent under section 35 of the Resource Management Act 1991.
- This is not a Building Consent. The Building Act 2004 contains provisions relating to the construction, alteration, and demolition of buildings. The Act requires building consents to be obtained where relevant, and for all such work to comply with the building code.
- For the avoidance of doubt: except where otherwise allowed by this resource consent, all land uses must comply with all remaining standards and terms of the Horowhenua District Plan. The consent holder will also have obligations with respect to the subdivision under the Building Act 2004 and the Manawatu-Wanganui Regional Council One Plan. All necessary consents and permits must be obtained prior to development.



- The consent is not a licence to create adverse effects such as unwarranted dust, noise or disruption. It does not change the legal duty to avoid, remedy or minimise such effects. Council may enforce the provisions of the Resource Management Act 1991 if the consent holder fails to meet this obligation.
- Failure to comply with an abatement notice may result in Council imposing an infringement fine or initiating prosecution.
- Prior to commencing any works within the legal road, the consent holder is responsible for applying for all new service connections via the appropriate process. Information on this process and applicable fees can be found at: <https://www.horowhenua.govt.nz/Services/HomeProperty/Water-Services/Service-Connections>



NORTH

APPROVED
21 Aug 2025

① SITE
1:1000

FOR CLIENT REVIEW CONCEPT PHASE ONLY NOT FOR PRICING NOT FOR CONSTRUCTION

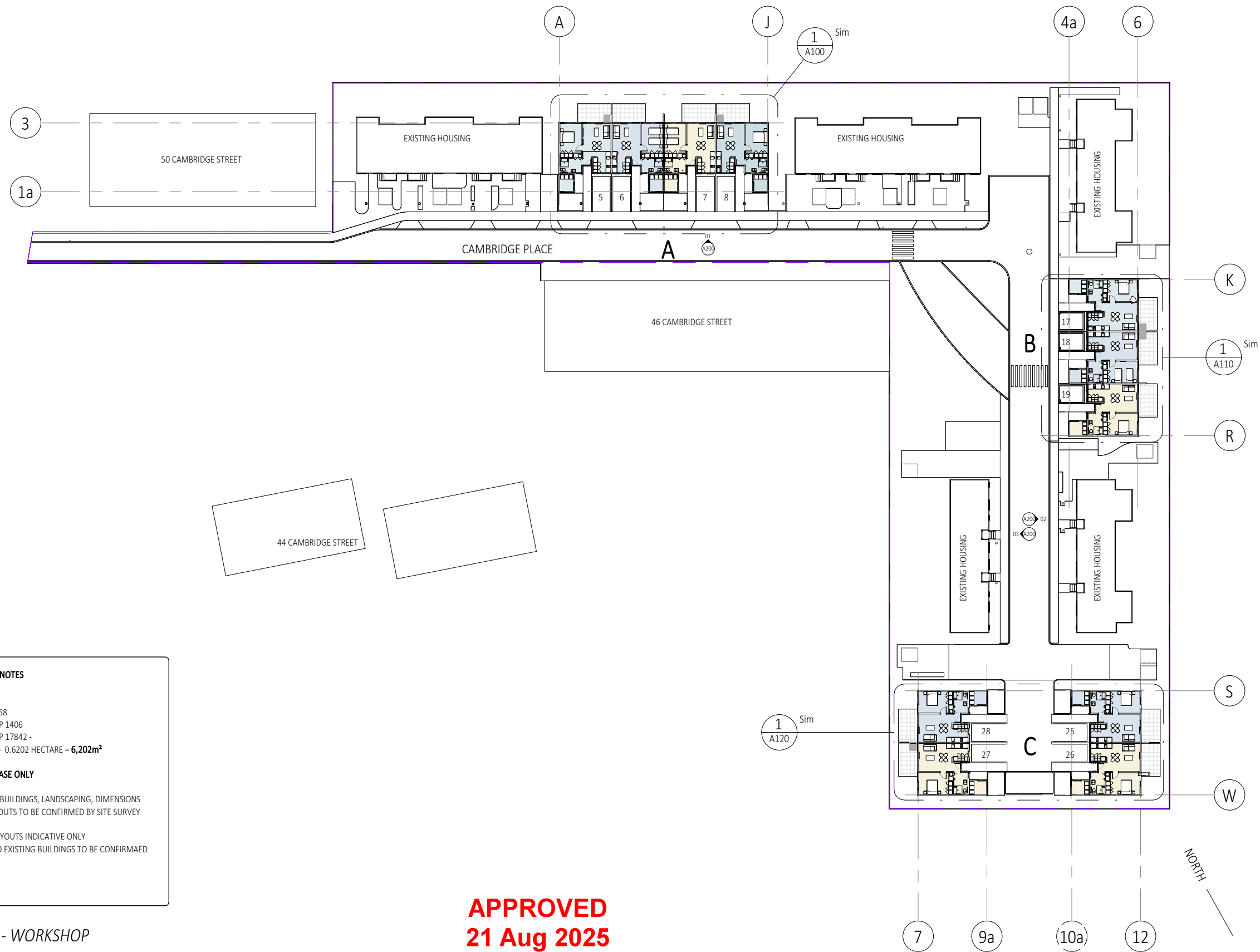
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15 CAMBRIDGE PLACE - RC PROGRESS
UPDATE

LOCATION PLAN

Climate Zone: Earthquake zone: Exposure Zone: Rainfall Range: Wind Zone:
PRELIMINARY NOT FOR CONSTRUCTION scale on A3: 1:1000 03.04.25

A007



SITE SURVEY NOTES

3 LOTS
 LOT 1 DP 19658
 PART LOT 3 DP 1406
 PART LOT 2 DP 17842 -
 TOTAL AREA = 0.6202 HECTARE = **6,202m²**

CONCEPT PHASE ONLY

ALL EXISTING BUILDINGS, LANDSCAPING, DIMENSIONS
 AND SITE SETOUTS TO BE CONFIRMED BY SITE SURVEY

PROPOSED LAYOUTS INDICATIVE ONLY
 DISTANCES TO EXISTING BUILDINGS TO BE CONFIRMED
 BY SURVEY

WIP RC - WORKSHOP

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UPDATE

**APPROVED
21 Aug 2025**

GROUND FLOOR PLAN

PRELIMINARY NOT FOR CONSTRUCTION scale on A3: As indicated 03.04.25

A050



① LEVEL 0 A
1 : 100

— RC - ISSUE

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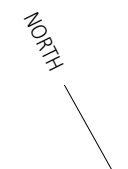
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APPROVED
21 Aug 2025

GROUND FLOOR PLAN A

Climate Zone : 3 Earthquake zone: 3 Exposure Zone: C Rainfall Range: 60-70 Wind Zone: LOW

PRELIMINARY NOT FOR CONSTRUCTION scale on A3: 1 : 100 03.04.25 **A100**



APPROVED
21 Aug 2025

C - ISSUE

FOR CLIENT REVIEW CONCEPT PHASE ONLY NOT FOR PRICING NOT FOR CONSTRUCTION

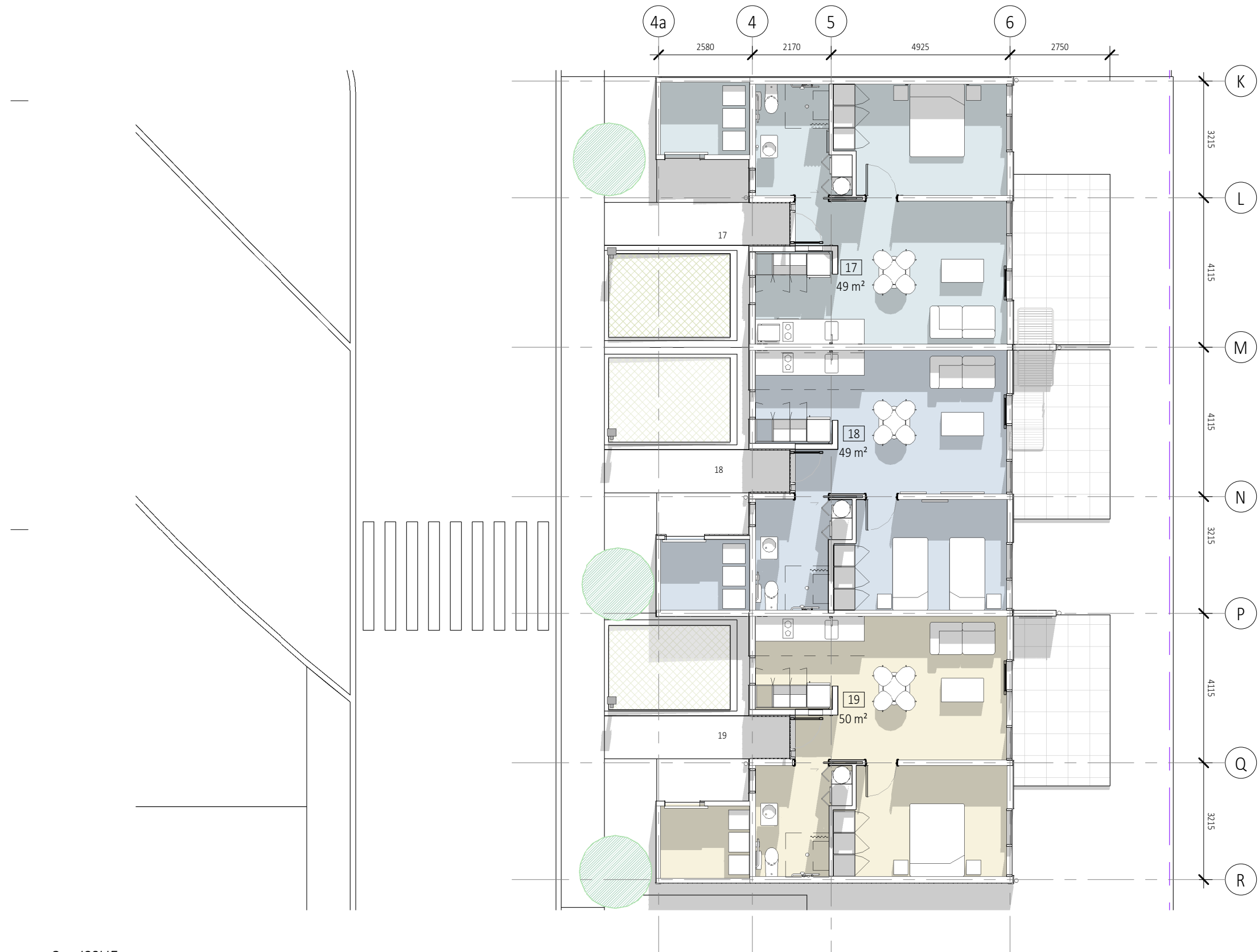
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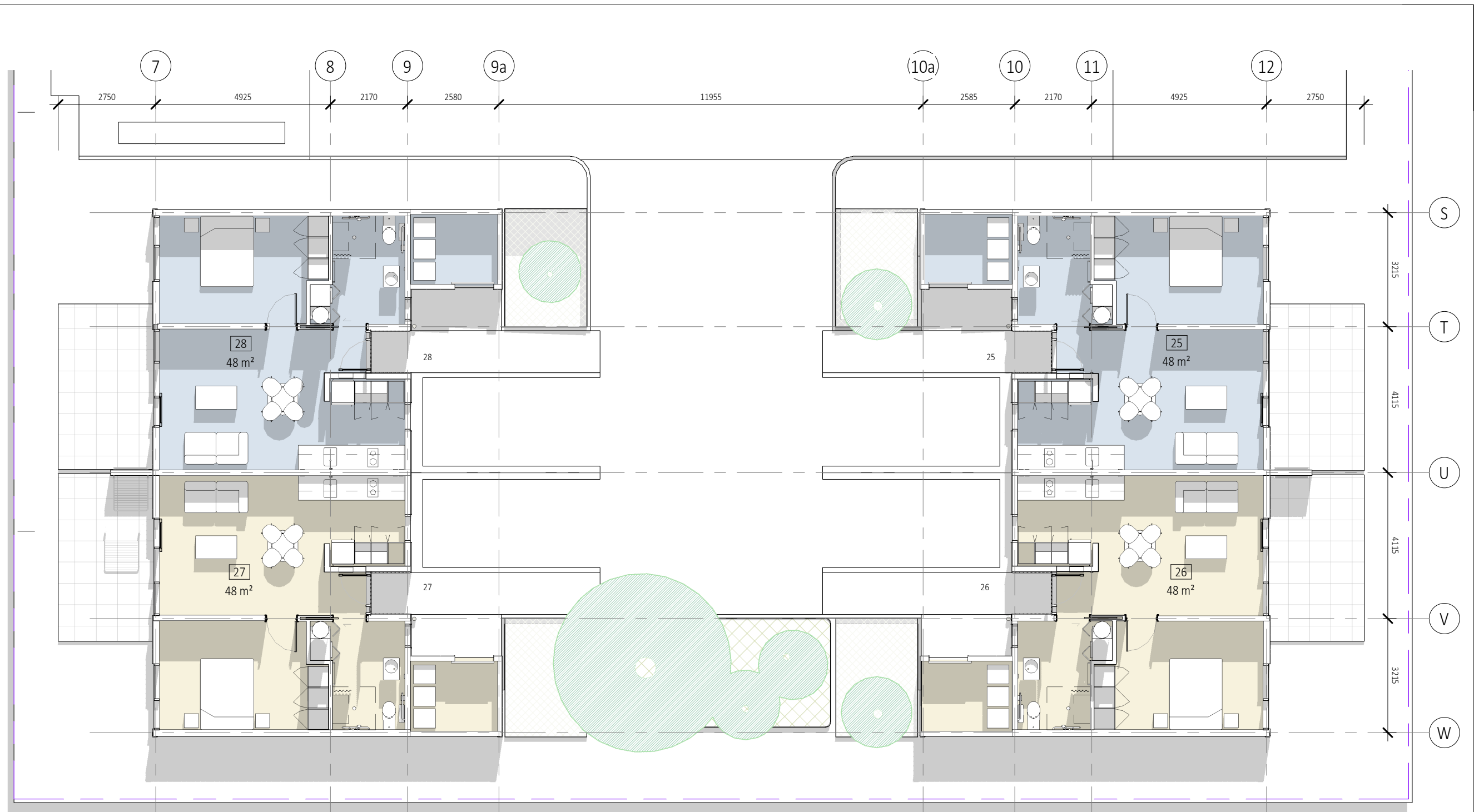
15 CAMBRIDGE PLACE - RC ISSUE

GROUND FLOOR PLAN B

Climate Zone : 3 Earthquake zone: 3 Exposure Zone: C Rainfall Range: 60-70 Wind Zone: LOW

PRELIMINARY NOT FOR CONSTRUCTION scale on A3: 1 : 100 03.04.25 **A110**





— RC - ISSUE

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APPROVED
21 Aug 2025

GROUND FLOOR PLAN C

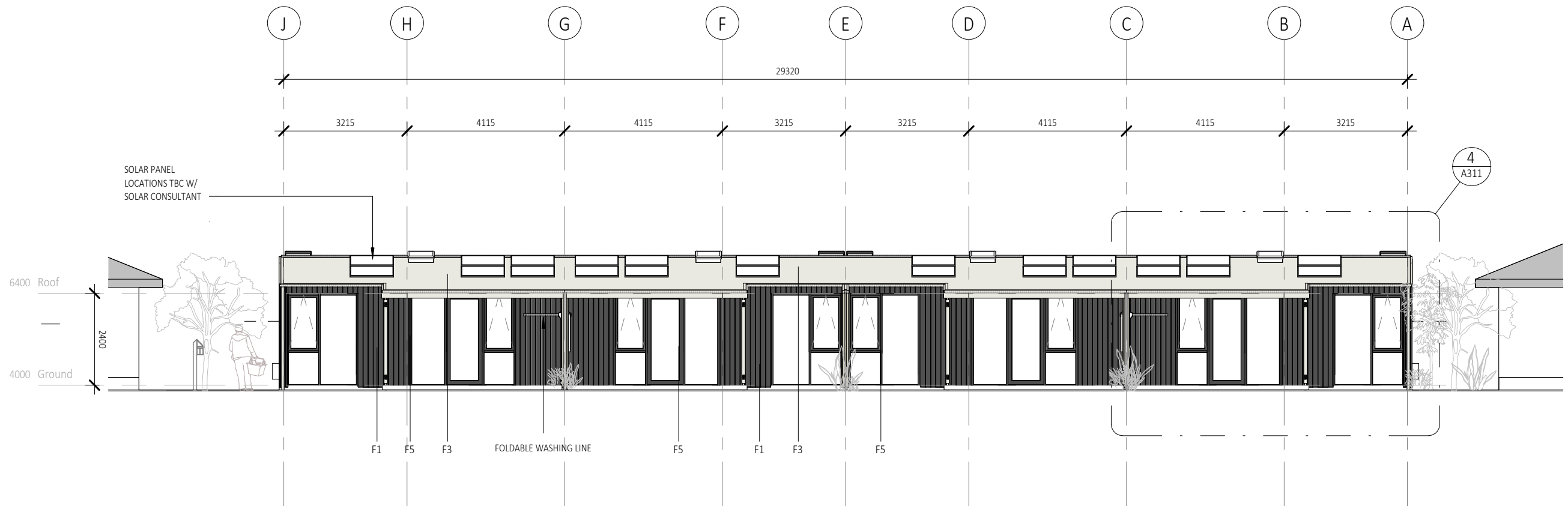
Climate Zone : 3 Earthquake zone: 3 Exposure Zone: C Rainfall Range: 60-70 Wind Zone: LOW

PRELIMINARY NOT FOR CONSTRUCTION scale on A3: 1 : 100 03.04.25 **A120**



FACADE TYPE:	N.O.
BOARD/ TIMBER VERTICAL CLADDING	F1
BOARD/ TIMBER VERTICAL CLADDING	F2
CORRUGATE ROOFING	F3
DOORS & WINDOWS	F5

Elevation:	NORTH.
Wind Zone	0
No. of Storeys	0
Roof/Wall Junctions	1
Eaves Width	5
Envelope Complexity	0
Deck Design	0
Total Risk Score	6



Walls: palette referencing the white of the existing units and introducing red/ greys

Natural timber finish to the entry recesses

Dark grey roof referencing the existing units

EXTERIOR COLOUR PALETTE

APPROVED
21 Aug 2025

① A - NORTH ELEVATION
1 : 100

— RC - ISSUE

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15 CAMBRIDGE PLACE - RC ISSUE

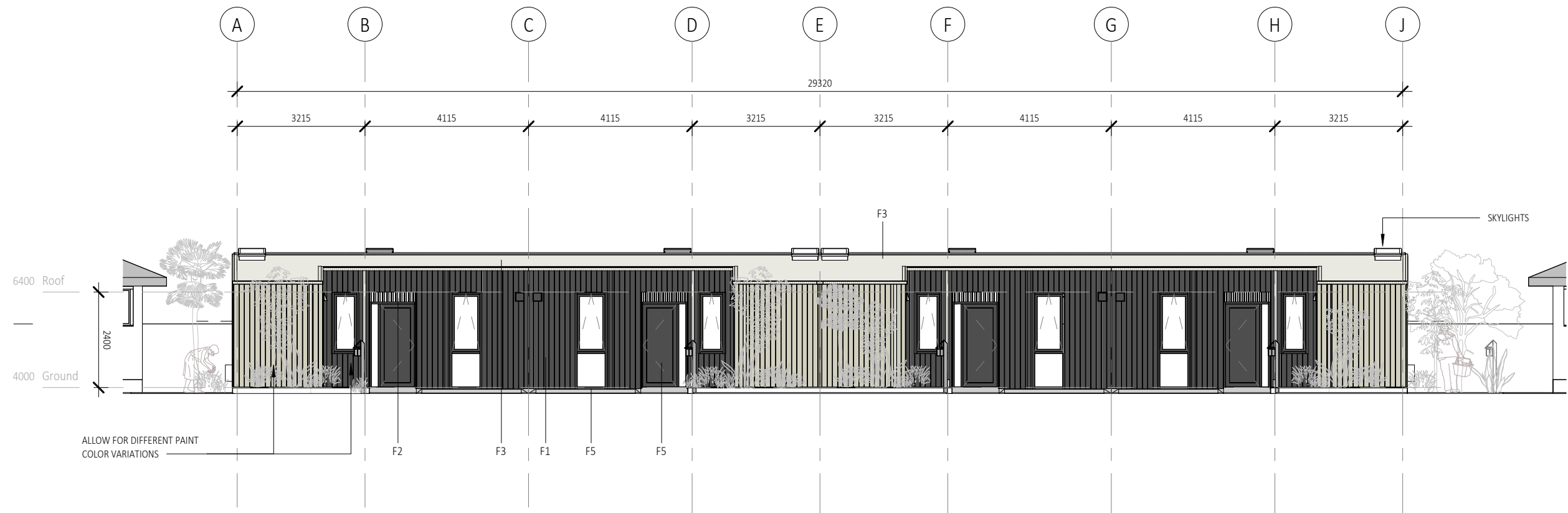
ELEVATION NORTH

Climate Zone : 3 Earthquake zone: 3 Exposure Zone: C Rainfall Range: 60-70 Wind Zone: LOW

PRELIMINARY NOT FOR CONSTRUCTION scale on A3: As indicated 03.04.25

A202

FACADE TYPE:	N.O.	Elevation:	SOUTH.
BOARD/ TIMBER VERTICAL CLADDING	F1	Wind Zone	0
BOARD/ TIMBER VERTICAL CLADDING	F2	No. of Storeys	0
CORRUGATE ROOFING	F3	Roof/Wall Junctions	1
DOORS & WINDOWS	F5	Eaves Width	5
		Envelope Complexity	0
		Deck Design	0
		Total Risk Score	6



Walls: palette referencing the white of the existing units and introducing red/ greys	Natural timber finish to the entry recesses	Dark grey roof referencing the existing units

EXTERIOR COLOUR PALETTE

1 A - SOUTH ELEVATION
1 : 100

APPROVED
21 Aug 2025

RC ISSUE

FOR CLIENT REVIEW CONCEPT PHASE ONLY NOT FOR PRICING NOT FOR CONSTRUCTION

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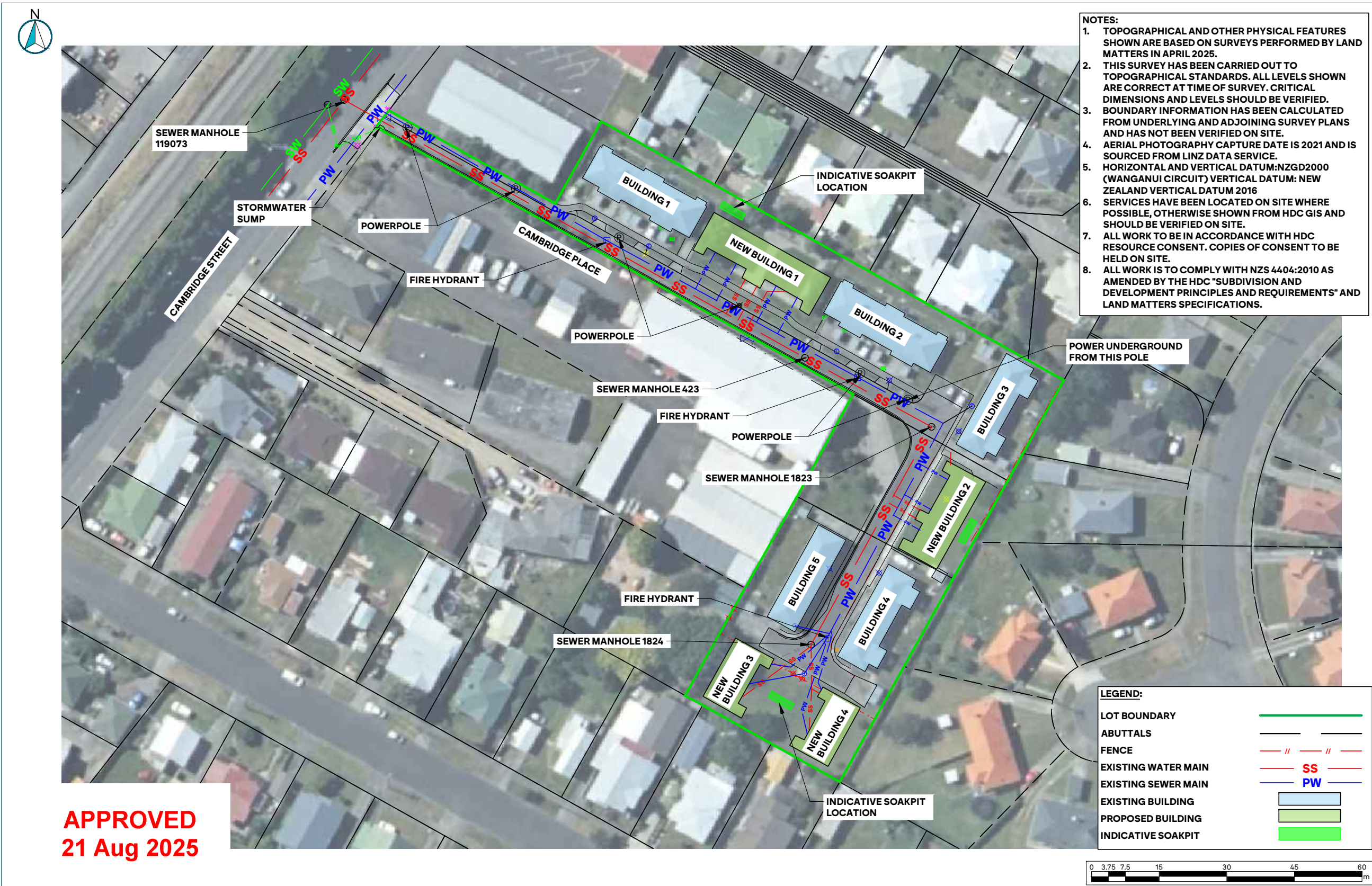
15 CAMBRIDGE PLACE - RC PROGRESS
UPDATE

ELEVATION SOUTH

Climate Zone : 3 Earthquake zone: 3 Exposure Zone: C Rainfall Range: 60-70 Wind Zone: LOW

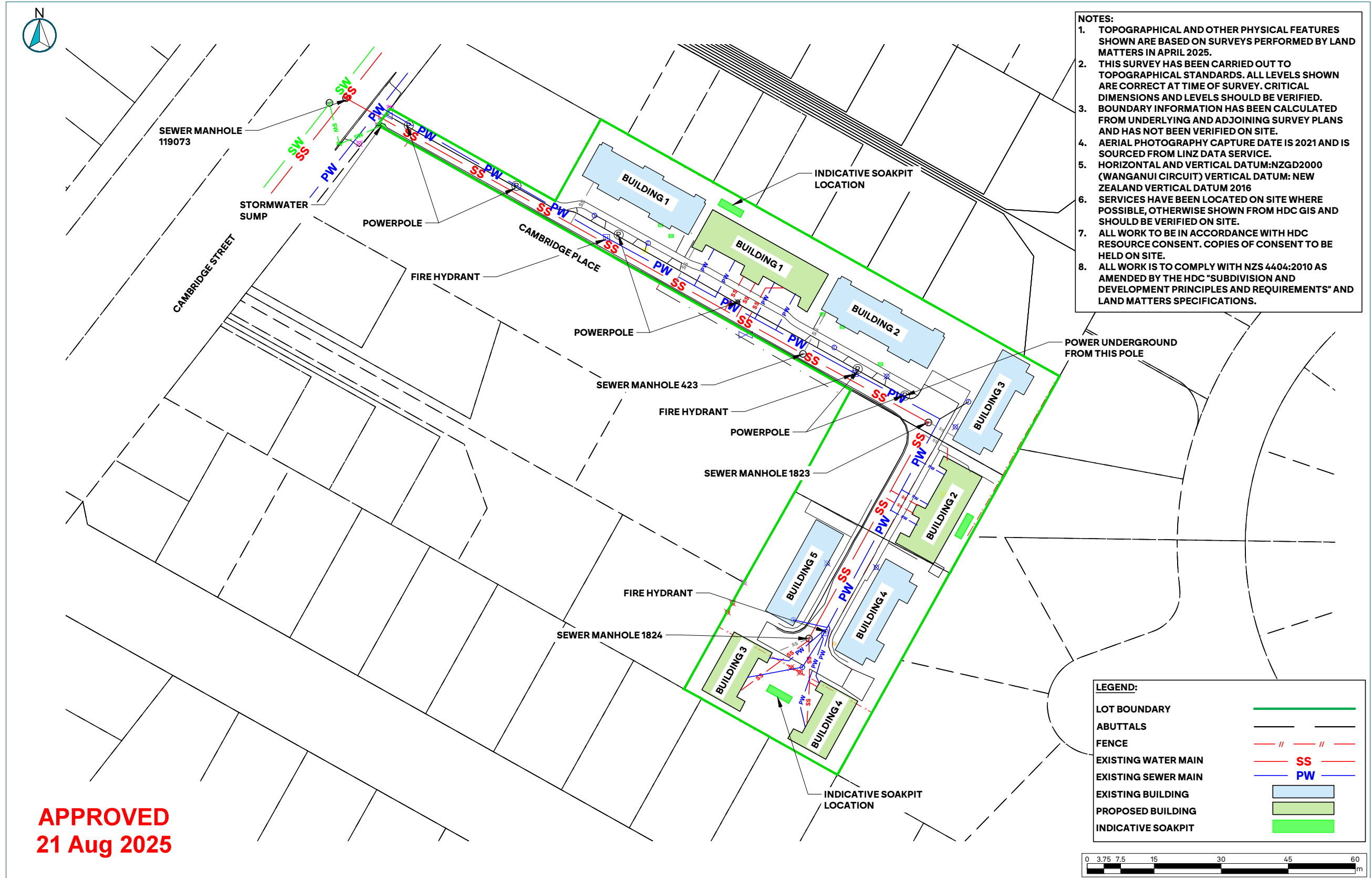
PRELIMINARY NOT FOR CONSTRUCTION scale on A3: As indicated 03.04.25

A203



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<p>PREPARED BY</p>	<p>CLIENT</p> <p>COMPASSION HOROWHENUA LIMITED PARTNERSHIP</p>	<p>PROJECT</p> <p>CAMBRIDGE PLACE - ENGINEERING FOR 3 WATERS</p>	<p>DRAWING TITLE</p> <p>PROPOSED DEVELOPMENT PLAN</p>	<table border="1"> <tr> <td>SURVEYED BY</td> <td>EP</td> <td>9/04/2025</td> <td>DATE</td> <td>11/04/2025</td> <td>PROJECT NO.</td> <td>1371</td> </tr> <tr> <td>DESIGNED BY</td> <td>BA</td> <td>9/04/2025</td> <td>SCALE</td> <td>1:750 A3</td> <td></td> <td></td> </tr> <tr> <td>CHECKED BY</td> <td>BA</td> <td>11/04/2025</td> <td></td> <td>1:375 A1</td> <td></td> <td></td> </tr> <tr> <td>DRAWING BY</td> <td>BA</td> <td>11/04/2025</td> <td>DRAWING NO.</td> <td></td> <td>REV</td> <td></td> </tr> <tr> <td>ISSUED FOR:</td> <td>RESOURCE CONSENT</td> <td></td> <td>1371-GA-200</td> <td></td> <td>A</td> <td></td> </tr> </table>	SURVEYED BY	EP	9/04/2025	DATE	11/04/2025	PROJECT NO.	1371	DESIGNED BY	BA	9/04/2025	SCALE	1:750 A3			CHECKED BY	BA	11/04/2025		1:375 A1			DRAWING BY	BA	11/04/2025	DRAWING NO.		REV		ISSUED FOR:	RESOURCE CONSENT		1371-GA-200		A	
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<p>PREPARED BY</p> <p>LAND MATTERS</p>	<p>CLIENT</p> <p>COMPASSION HOROWHENUA LIMITED PARTNERSHIP</p>	<p>PROJECT</p> <p>CAMBRIDGE PLACE - ENGINEERING FOR 3 WATERS</p>	<p>DRAWING TITLE</p> <p>PROPOSED DEVELOPMENT PLAN (NO AERIAL)</p>	<table border="1"> <tr> <td>SURVEYED BY</td> <td>EP</td> <td>9/04/2025</td> <td>DATE</td> <td>11/04/2025</td> <td>PROJECT NO.</td> <td>1371</td> </tr> <tr> <td>DESIGNED BY</td> <td>BA</td> <td>9/04/2025</td> <td>SCALE</td> <td>1:750 A3</td> <td></td> <td></td> </tr> <tr> <td>CHECKED BY</td> <td>BA</td> <td>11/04/2025</td> <td></td> <td>1:375 A1</td> <td></td> <td></td> </tr> <tr> <td>DRAWING BY</td> <td>BA</td> <td>11/04/2025</td> <td>DRAWING NO.</td> <td></td> <td>REV</td> <td></td> </tr> <tr> <td>ISSUED FOR:</td> <td>RESOURCE CONSENT</td> <td></td> <td>1371-GA-201</td> <td></td> <td>A</td> <td></td> </tr> </table>	SURVEYED BY	EP	9/04/2025	DATE	11/04/2025	PROJECT NO.	1371	DESIGNED BY	BA	9/04/2025	SCALE	1:750 A3			CHECKED BY	BA	11/04/2025		1:375 A1			DRAWING BY	BA	11/04/2025	DRAWING NO.		REV		ISSUED FOR:	RESOURCE CONSENT		1371-GA-201		A	
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Horowhenua District Council Development Contributions Policy

Development Contributions Assessment Notice

Date assessment issued	6/10/2025
Consent number	100/2025/420
Description	Proposed 11 new 1 bedroom units
Application date	6/10/2025
Date application accepted	6/10/2025
Applicable DC Policy	DCP 2025

	Existing Units of Demand (UoD)	Total UoD after development	Additional UoD after development	Contribution per UoD	Development contribution (Excl GST)
Roading	8.00	13.50	5.50	\$ 1,625.13	\$ 8,938.22
Water Supply	8.00	13.50	5.50	\$ 8,340.74	\$ 45,874.07
Wastewater treatment	8.00	13.50	5.50	\$ 6,830.76	\$ 37,569.18
Stormwater	8.00	13.50	5.50	\$ 653.83	\$ 3,596.07
Community infrastructure	8.00	13.50	5.50	\$ 3,939.01	\$ 21,664.54
Total assessed development contribution (Excluding GST)					\$ 117,642.08

Notes:

1. The assessed development contribution amounts exclude GST
2. This is an assessment only and may be and may be altered if the application for consent or authorisation is varied
3. This assessment may be varied if another consent or authorisation for the same development is invoiced before this assessment can be invoiced
4. An applicant can ask the Council to formally review this assessment on grounds set out in the Policy and Council may remit, reduce or postpone the payment of the development contribution. A request for review must be received by Council in writing, no later than 14 working days after the date on which Council issues this assessment. A fee may be charged by the Council to carry out the review
5. The Council will invoice the assessed development contributions, in the case of:
 - a) a resource consent for land use, an authorisation for service connection or a certificate of acceptance, 14 working days after granting the consent, authorisation or certificate
 - b) a subdivision consent, at the time of receiving an application for a certificate under section 224(c) of the Resource Management Act 1991
 - c) a building consent under the Building Act 2004, at the time the first building inspection is carried out.

Compassion Horowhenua Limited Partnership
Level 2, 5 Cable Street
PO Box 24137
Wellington 6142

14 November 2025

Horowhenua District Council
126 Oxford Street
Levin 5510

For: Chief Executive / Group Manager Housing & Development

Development Contributions Remission Request – Cambridge Place, Levin

Introduction

We refer to the development contributions notice dated 6 October 2025 issued to Compassion Horowhenua Limited Partnership in respect of building consent 20250420. The building consent is for the construction of 11 new affordable housing units at Cambridge Place, Levin.

Compassion Horowhenua Limited Partnership requests a full remission of the assessed development contributions in accordance with clause 3.6 of Council's Development Contributions Policy 2024.

We understand that a request to remit development contributions must be made within 14 working days after the date on which Council issues an assessment. While the assessment is dated 6 October 2025, it was not uploaded to Simpli until 3 November 2025 (when the building consent was issued), so this request is within the required time period.

Background

Compassion Horowhenua is a partnership between the Mother Aubert Home of Compassion Trust Board (Sisters of Compassion) and Willis Bond.

Compassion Horowhenua purchased the Horowhenua District Council's social housing portfolio of 115 units in 2017. Compassion Horowhenua has continued to provide affordable housing to elderly citizens since the initial purchase. There is strong demand for the units with very high occupancy rates and a waiting list for new residents.

Day-to-day management of the properties and the tenancies is handled by the operator, Compassion Housing Limited. Compassion Housing is a registered community housing provider and part of the Sisters of Compassion group. Compassion Housing also provides wraparound pastoral care and nursing services for the residents. Its mission statement is:

We respect the dignity of older persons through:

- *Respecting the dignity of older people.*
- *Offering quality housing that is comfortable and affordable.*
- *Respecting people's right to independence.*
- *Offering friendship, encouragement and helping them live active lives.*
- *Offering advocacy for access to healthcare, social and government assistance.*
- *Encouraging those with ill health to seek and obtain appropriate care.*

The long-term vision for Compassion Housing is to provide elderly housing, with a primary focus on the lower north island, which reflects the physical and spiritual region of the Sisters of Compassion group.

To qualify for affordable housing, residents must be 60 years or older, have the ability to live alone independently, have little income other than superannuation payments and have less than \$60,000 in gross assets.

Building consent 20250420 relates to the construction of 11 new affordable housing units on Compassion Horowhenua's property at Cambridge Place, Levin. These new units will help the partnership to respond to the demand for affordable housing in the Horowhenua district.

The new units will be 50% funded by the Ministry of Housing and Urban Development's Affordable Housing Fund. A condition of the funding is that the units are let at no higher than 80% of market rent for a minimum period of 15 years. This requirement aligns with Compassion Horowhenua's current policies and its purpose to provide housing at below-market rates to those in need.

The units will be constructed to a reasonable size (50 sqm for one-bed units) and have been designed specifically for elderly residents and to accommodate accessibility issues. The design has been completed by LT McGuinness and reviewed, on a pro bono basis, by Studio Pacific Architecture (who previously completed research on affordable independent-living accommodation for the elderly). The units will also include solar panels and provision for EV charging, which will provide environmental benefits as well as cost benefits to residents.

It is challenging to fund new construction in the current market, let alone affordable housing units let at a below-market rate. The business case for the project relies on the development contribution remissions offered in the Policy. We appreciate the intention behind the Policy to support social and affordable housing projects – this support is crucial to getting these sorts of developments over the line.\

Basis of Request

The remission is requested under clause 3.6.1.1 a) of the Policy on the basis "it is expected to provide *significant community benefit*". We believe the increased supply of affordable housing for the elderly is a significant community benefit, providing security of tenure to lower-income elderly residents and allowing them to remain in Horowhenua District.

Where a remission is requested under clause 3.6.1.1 a), clause 3.6.1.2 requires Council to be satisfied that one of the criteria in a) or b) applies.

In this case, clause 3.6.1.2 a) applies:

The development is a social housing development undertaken by a Community Housing Provider that is registered with the Community Housing Regulatory Authority or any other partnership where Kainga Ora or Ministry of Housing and Urban Development has entered into an agreement to provide social housing or affordable housing;

As explained above, Compassion Housing Limited Partnership is a "partnership... where Ministry of Housing and Urban Development has entered into an agreement to provide social housing or affordable housing". We can provide further evidence of the agreement on request.

We also note that, when the existing units were purchased from Council, the partnership agreed to assume Council's obligations in respect of the units to Kāinga Ora (then Housing New Zealand). This includes ensuring that rents are set at an affordable level. These obligations are secured by an encumbrance on the title to the properties and deed of indemnity given in favour of Council.

We understand from our discussions with Council that the request will be considered by the Hearings Committee and that Council will charge a fee in order to consider the request. We agree to the process and fee.

Please contact Jimmy Tait-Jamieson (jimmy@willisbond.co.nz) if you have any questions. We are excited to get this project started and look forward to hearing from you further.

Yours faithfully,



David McGuinness
Compassion Horowhenua Limited Partnership

Laura Goldsmith

From: Jin Humphreys
Sent: Monday, 23 March 2026 4:33 pm
To: Laura Goldsmith
Subject: CM: FW: Jin Humphreys shared the folder "Finance Reivew" with you

Follow Up Flag: Follow up
Flag Status: Flagged

Jin Humphreys

Planning and Development Manager | Hoa Pakihi Matua Tautāwhi Kaimahi

Waea Mahi | (06) 366 0999
Waea Pukoro | +64272006188

126 Oxford Street, Levin
Private Bag 4002, Levin 5540



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From: Alison Diaz <alisond@horowhenua.govt.nz>
Sent: Monday, 23 March 2026 11:01 am
To: Jin Humphreys <jinh@horowhenua.govt.nz>
Subject: RE: Jin Humphreys shared the folder "Finance Reivew" with you

Mōrena Jin,

Development contribution remission request - Compassion Horowhenua Limited Partnership

The assessed Development Contribution (DC) of \$117,642.08 for this elderly housing project may be funded through two legitimate alternative mechanisms, both of which meet the intent of Council's DC Policy requirement to identify an alternative funding source where a remission is sought:

1. Loan funding (Ratepayer-funded over time)

Council may elect to fund the remission through borrowings, with repayment occurring over time through general rates. This approach avoids placing additional financial burden on the developer or the charitable trust delivering the project. While it incrementally reduces Council's borrowing headroom for future capital priorities, it is an accepted mechanism for meeting the cost of growth-related infrastructure where Council determines that wider community outcomes justify the remission.

2. Redistribution across the future development base (DC Re-basing)

Alternatively, Council may absorb the remission by re-allocating the unfunded growth share across the remaining development community. Under this approach, the 11 units associated with the remission are excluded from the future growth projections when DCs are next recalculated. The growth-related cost share is then redistributed across a smaller development base, resulting in higher DC charges in subsequent years.

This ensures the cost of growth remains with those generating future demand rather than transferring it to the general ratepayer.

Overall Position

Given the project's strong alignment with Council's community outcomes, particularly in delivering affordable homes, I am satisfied that the request meets the intent of Policy 3.6.1.2.

The identification of either borrowing or DC re-basing as an alternative funding source satisfies Council's obligation to avoid unfunded growth impacts. On this basis, I support granting the remission.

Summary paragraph for inclusion in the report:

The assessed Development Contribution of \$117,642.08 can be supported through an identified alternative funding source, as required under Policy 3.6.1.2. Council may either fund the remission through borrowings repaid over time by ratepayers or redistribute the unfunded growth share across the wider development community through future DC re-basing, which spreads growth-related infrastructure costs across a smaller forecast development base. Both mechanisms provide a valid alternative funding pathway, as such, I am satisfied that the application meets policy intent and therefore support granting the remission.

Ngā mihi,
Alison

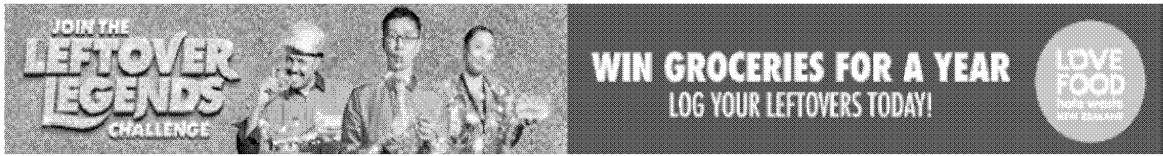
Alison Diaz

Chief Financial Officer | Tumu Whakahaere Ahumoni

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From: Jin Humphreys <jinh@horowhenua.govt.nz>

Sent: Tuesday, 17 March 2026 4:51 pm

To: Alison Diaz <alisond@horowhenua.govt.nz>

Subject: Jin Humphreys shared the folder "Finance Reivew" with you



Jin Humphreys invited you to edit a folder

Kia ora,

For the financial implications section of the DC report, we need Finance confirmation of:

The amount of Development Contributions proposed to be remitted

How the remitted amount will be funded/accounted for & confirmation this can be accommodated within current budgets/funding assumptions.


Jacinta Straker previously assisted with this.

Thanks, much appreciated

Jin



Finance Reivew

 This invite will only work for you and people with existing access.

Open

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Jin Humphreys

Planning and Development Manager | Hoa Pakihi Matua Tautāwhi Kaimahi

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File No.: 26/161

Appeal of Barking Dog Abatement Notice - [REDACTED]

Author(s)	Vaimoana Miller Compliance Manager Tumū Tūtohu
Approved by	Lacey Winiata Parks & Property Manager Tumū Rawa, Papa Rēhia
	Monique Davidson Chief Executive Officer Tumūaki

PURPOSE | TE PŪTAKE

1. This report is to seek a determination from the Hearings and Regulatory Committee (the Committee) on the barking dog abatement notice issued on 17 November 2025 to [REDACTED] of 207 and [REDACTED] Levin.

This matter does not relate to a current Council priority.

EXECUTIVE SUMMARY | TE WHAKARĀPOPOTOTANGA MATUA

2. On 17 November 2025 a notice to abate nuisance barking was issued to [REDACTED] (the Dog Owner) following complaints received regarding barking from dogs kept at [REDACTED] Levin.
3. There is a history of complaints relating to barking dogs at this location, including a previous barking dog abatement notice having been issued in 2019.
4. [REDACTED] [REDACTED] has objected to the notice, and therefore the Committee is required to determine the matter under delegated authority.

DELEGATION OR AUTHORITY TO ACT | TE MANA WHAKATAU I NGĀ KAWENGA

5. Section 55 of the Dog Control Act 1996 provides for a person to object to a barking dog abatement notice and sets out a Territorial Authority shall consider the objection and may confirm, modify, or cancel the notice.
6. The Hearings and Regulatory Committee is delegated the responsibility to conduct statutory hearings on regulatory matters under the Dog Control Act 1996. Clause 4.2(4) of the Council and Committee Terms of Reference adopted on 10 December 2025 refers.

SIGNIFICANCE ASSESSMENT | HE AROMATAWAI MATUA

7. This matter is assessed as not significant because it relates to a dog matter affecting the dog owner, Council and the immediate neighbours to the properties of where the dogs are kept.

RECOMMENDATION | NGĀ TAUNAKITANGA

- A. That the Committee considers and determines the objection to
 - A.1. Confirm the Notice to Abate Nuisance Barking; or,
 - A.2. Cancel the Notice to Abate Nuisance Barking; or,
 - A.3. Modify the Notice to Abate Nuisance Barking.

BACKGROUND | HE KÖRERO TŪĀPAPA

8. [REDACTED] owns [REDACTED] Levin but resides at [REDACTED] Levin, where her dogs are kept. [REDACTED] [REDACTED] has three Anatolian Shepherd dogs, with numbers increasing at times due to breeding.
9. There are five dogs kept at [REDACTED] three owned by Ms [REDACTED] and 2 owned by Mr [REDACTED]. A notice to abate nuisance barking was also issued to Mr [REDACTED] in November 2025 which he too has objected to. The objection to Mr [REDACTED] notice is put to the Hearings and Regulatory Committee for determination in a separate report.
10. A notice to abatement nuisance barking was issued to the Dog Owner in 2019 in relation to barking at [REDACTED] Levin. That notice was objected to and subsequently upheld by the Hearings Committee. The provision with the notice imposed on Ms [REDACTED] to *“Cease all barking nuisance on your property by identifying which of your dog(s) are causing the barking issue and remove those dog(s) from the property when you are not home to control the barking”*.
11. In July 2024 Council started to again receive complaints regarding barking nuisance from dogs at [REDACTED] Levin. These complaints continued right through to November 2025 when the notice was issued.
12. The 2019 notice to abate barking nuisance is no longer considered a suitable measure to manage the nuisance, and therefore a new notice to abate nuisance barking was issued on 17 November 2025 with updated controls.

DISCUSSION | HE MATAPAKINGA

13. On 20 February 2025, Council animal control officers met with [REDACTED] [REDACTED] to discuss the complaints. During that meeting, [REDACTED] [REDACTED] advised that she would implement

- measures including exercise routines, managing dogs during breeding cycles, use of bark deterrent devices, and improvements to fencing at [REDACTED] Levin.
14. Despite any measures put in place by the Dog Owner to address the barking nuisance, complaints continued to be received from occupants at neighbouring properties.
 15. Between 29 July 2025 and 15 November 2025, Council undertook a number of monitoring assessments from a neighbouring property, which recorded instances of barking from the direction of [REDACTED] Levin.
 16. On 17 November 2025, animal control Officers issued a notice to abate barking dog nuisance to Ms [REDACTED]. The notice imposing the following provisions:
 - 16.1. Keep no more than two (2) dogs at [REDACTED] and [REDACTED] collectively and notify Council which two dogs will be kept.
 - 16.2. Rehome any additional dogs to another suitable property/s, which must not be [REDACTED] or [REDACTED]. You must then provide Council with confirmation of the new locations of each dog so that Council records can be updated accordingly.
 - 16.3. Do not use [REDACTED] or [REDACTED] for breeding or keeping of puppies with dog numbers and bitches on heat contributing to the established barking nuisance.
 - 16.4. Dogs must not be left outside when no person is home to monitor and control nuisance barking
 17. Ms [REDACTED] has objected to this notice. Ms [REDACTED] disputes that the barking originates from her dogs and believes neighbouring dogs are responsible, noting observations of barking from nearby properties.
 18. Ms [REDACTED] states they have taken steps to address concerns and questions the accuracy of monitoring in determining any barking is attributable to her dogs, and an unwillingness to comply with the notice unless proven necessary.
 19. The Notice to abate barking dog nuisance issued to Ms [REDACTED] on 17 November 2025 is attached as Attachment A.

Options | Ngā Kōwhiringa

20. Section 55 of the Dog Control Act 1996 prescribes that the Committee has the following options:
 - 20.1. Confirm the Notice to Abate Nuisance Barking
 - 20.2. Cancel the Notice to Abate Nuisance Barking
 - 20.3. Modify the Notice to Abate Nuisance Barkin

FINANCIAL AND RESOURCING | TE TAHUA PŪTEA ME NGĀ RAUEMI

21. There are no direct costs associated with this matter. Barking dog complaints and the responses to are managed within Dog Control operational budgets.

LEGAL AND RISK | TE TURE ME NGĀ MŌREAREATANGA

22. This matter has been considered in accordance with the New Zealand Bill of Rights Act 1990. The processes set out in the Dog Control Act 1996 provide for the Dog Owner with the

opportunity to be heard, and therefore no inconsistencies with the Bill of Rights have been identified.

POLICY IMPACT | NGĀ PĀTANGA I NGĀ KAUPAPA HERE

23. This matter is considered under the Dog Control Act 1996 and is consistent with Council's Dog Control Policy and Dog Control Bylaw. The decision relates to the application of existing legislative requirements, and does not give rise to any changes to Council policy.

COMMUNICATIONS AND ENGAGEMENT | TE WHAKAWHITI PĀRONGO ME TE MAHI

24. The decision of the Hearings and Regulatory Committee will be formally communicated to the Dog Owner following the hearing. Any further communication will be undertaken as required in accordance with the outcome of the decision.

NEXT STEPS | HEI MAHI

25. Following the hearing, the Hearings and Regulatory Committee decision will be formally communicated to the Dog Owner in accordance with statutory requirements. Any subsequent actions will be undertaken in line with the Committee's decision.

Confirmation of statutory compliance

In accordance with sections 76 – 79 of the Local Government Act 2002, this report is approved as:

- a. containing sufficient information about the options and their advantages and disadvantages, bearing in mind the significance of the decisions; and,
- b. is based on adequate knowledge about, and adequate consideration of, the views and preferences of affected and interested parties bearing in mind the significance of the decision.

ATTACHMENTS | NGĀ TĀPIRINGA KŌRERO

No.	Title	Page
A↓	Attachment A - NOTICE TO ABATE NUISANCE OF BARKING DOG/S - [REDACTED] - [REDACTED] Levin [REDACTED] - 17 November 2025	177



17 November 2025

[REDACTED]
Levin [REDACTED]

Dear [REDACTED]

NOTICE TO ABATE NUISANCE OF BARKING DOG/S – Section 55 (1) (B), Dog Control Act 1996

Following recent noise monitoring carried out by Animal Control, you have now been issued with this Noise Abatement Notice. The purpose of this notice is to require you to take all reasonable provisions as stated within the notice to prevent your dogs from continuing to cause a nuisance by way of loud and persistent barking.

Take note that, to abate the nuisance, in accordance with Section 55(1)(b) of the Dog Control Act 1996, you are hereby required, within seven (7) calendar days of receipt of this Notice, to:

1. Keep no more than two (2) dogs at [REDACTED] and [REDACTED] collectively and notify Council which two dogs will be kept.
2. Rehome any additional dogs to another suitable property/s, which must not be [REDACTED] or [REDACTED]. You must then provide Council with confirmation of the new locations of each dog so that Council records can be updated accordingly.
3. Do not use [REDACTED] or [REDACTED] for breeding or keeping of puppies – with dog numbers and bitches on heat contributing to the established barking nuisance.
4. Dogs must not be left outside when no person is home to monitor and control nuisance barking

Please note that [REDACTED] is not suitable for safely containing your dog(s), which have an established history of rushing at or attacking persons and animals. Council is also not satisfied that nuisance barking can be effectively managed by keeping more than the two approved dogs across both properties, as this would reduce the level of supervision available. For this reason, the limit of two dogs applies collectively across both properties, to support better management of nuisance barking.

If the above steps cannot be achieved, and/or if nuisance barking persists, then all dogs must be removed from both properties in accordance with section 55 (1) (B).

Failure to comply with this notice may result in further enforcement action under the Dog Control Act 1996, **including seizure and impounding of the dogs by Council in accordance with section 56 (2).**

A summary of your right to object to this notice and relevant sections of the Act is attached. *(A copy of this notice hand delivered to the letterbox of [REDACTED])*

If you have any questions, please contact me on (06) 366 0999.

[REDACTED]
Animal Control Team Lead

**RIGHT OF OBJECTION BARKING DOG
Section 55 Dog Control Act**

- Any person on whom notice is served under this section may, within 7 days of the receipt of the notice, object in writing to the Horowhenua District Council against the requirements of that notice.
- The Horowhenua District Council shall consider the objection and may confirm, modify or cancel the notice.
- No objection under this section shall be considered unless 7 days notice of the date and time when and place at which it is to be considered has been given to the objector, who shall be entitled to be represented and to be heard and may submit evidence and call witnesses in support of his or her objection.
- Upon the determination of the objection, the Horowhenua District Council shall give to the objector a further notice stating the decision of the Council, and, if the effect of the decision is to modify the requirements of the Notice to Abate Nuisance of Barking Dog, shall set out those requirements as so modified.

As from the lodging of an objection with the Horowhenua District Council, and pending the receipt of a further notice upon the determination of the objection, the notice setting out the requirements that are the subject of the objection shall be deemed to be suspended.

PLEASE NOTE - Section 55(7)

Every person commits an offence and is liable on summary conviction to a fine not exceeding \$1,500 who, having been served with a notice under this section,-

- (a) fails or neglects to comply with that notice (not being a notice that has been suspended under subsection (6)) within 7 days of its receipt by that person;
- (b) fails or neglects to comply with any notice as modified or confirmed by a territorial authority under subsection (3) within the time specified by the territorial authority.

Section 56 – Removal of Barking Dog Causing Distress

- (1) This section shall apply in any case where, at any time after a notice under section 55 has been issued,—
- (a) the notice has not been cancelled under subsection (3) of that section; and
 - (b) the notice has not been complied with; and
 - (c) a dog control officer or dog ranger has received a further complaint and has reasonable grounds for believing that the nuisance in respect of which the notice is issued is continuing and is causing distress to any person.
- (2) In any case to which subsection (1) applies, the dog control officer or dog ranger may enter upon the land or premises on which the dog is kept and remove the dog and the dog shall be kept in custody under section 70.
- (3) Nothing in this section shall authorise any dog control officer or dog ranger to enter any dwellinghouse unless—
- (a) he or she is authorised to enter by a warrant issued by an issuing officer (within the meaning of section 3 of the Search and Surveillance Act 2012) made on application by the dog ranger or dog control officer in the manner provided for an application for a search warrant in subpart 3 of Part 4 of the Search and Surveillance Act 2012; and
 - (b) he or she is accompanied by a constable.
- (3A) None of the following persons may act as an issuing officer under this section:
- (a) the mayor or any elected member of the local authority that employs or engages the dog ranger or dog control officer; or
 - (b) any employee of the local authority that employs or engages the dog ranger or dog control officer.
- (4) Where a dog is removed pursuant to subsection (2), the dog control officer or dog ranger shall give written notice in the prescribed form to the owner of the dog or, if the owner is not present, the person for the time being appearing to be in charge of the land or premises and, if no person is present on the property, shall leave such notice in some conspicuous place on the land or premises.
- (5) The provisions of subparts 1, 3, 7, 9, and 10 of Part 4 of the Search and Surveillance Act 2012 apply in respect of an authority applied for or issued under subsection (3).

Section 15 – Obligations of Dog Owners

- (1) The obligations imposed on dog owners by this Act require every owner of a dog—
- (a) to ensure that the dog is registered in accordance with this Act, and that all relevant territorial authorities are promptly notified of any change of address or ownership of the dog;
 - (b) to ensure that the dog is kept under control at all times;
 - (c) to ensure that the dog receives proper care and attention and is supplied with proper and sufficient food, water and shelter;
 - (d) to ensure that the dog receives adequate exercise;
 - (e) to take all reasonable steps to ensure that the dog does not cause a nuisance to any other person, whether by persistent and loud barking or howling or by any other means;
 - (f) to take all reasonable steps to ensure that the dog does not injure, endanger, intimidate, or otherwise cause distress to any person;
 - (g) to take all reasonable steps to ensure that the dog does not injure, endanger, or cause distress to any stock, poultry, domestic animal, or protected wildlife;
 - (h) to take all reasonable steps to ensure that the dog does not damage or endanger any property belonging to any other person;
 - (i) to comply with the requirements of this Act and of all regulations and bylaws made under this Act.
- (2) Nothing in this Act limits the obligations of any owner of a dog to comply with the requirements of any other Act or of any regulations or bylaws regulating the control, keeping, and treatment of dogs.

File No.: 26/165

Appeal of Barking Dog Abatement Notice - [REDACTED]

Author(s)	Vaimoana Miller Compliance Manager Tumu Tūtohu
Approved by	Lacey Winiata Parks & Property Manager Tumu Rawa, Papa Rēhia
	Monique Davidson Chief Executive Officer Tumuaki

PURPOSE | TE PŪTAKE

1. This report is to seek a determination from the Hearings and Regulatory Committee (the Committee) on the barking dog abatement notice issued on 17 November 2025 to [REDACTED] of [REDACTED] Levin.

This matter does not relate to a current Council priority.

EXECUTIVE SUMMARY | TE WHAKARĀPOPOTOTANGA MATUA

2. On 17 November 2025 a notice to abate nuisance barking was issued to [REDACTED] (the Dog Owner) following complaints received regarding barking from dogs kept at [REDACTED] Levin.
3. There is a history of complaints relating to barking dogs at this location, including a previous barking dog abatement notice having been issued in 2019 to another occupant and dog owner ([REDACTED] [REDACTED]).
4. [REDACTED] has objected to the notice. The Committee is therefore required to determine the matter under delegated authority.

DELEGATION OR AUTHORITY TO ACT | TE MANA WHAKATAU I NGĀ KAWENGA

5. Section 55 of the Dog Control Act 1996 provides for a person to object to a barking dog abatement notice and sets out a Territorial Authority shall consider the objection and may confirm, modify, or cancel the notice.
6. The Hearings and Regulatory Committee is delegated the responsibility to conduct statutory hearings on regulatory matters under the Dog Control Act 1996. Clause 4.2(4) of the Council and Committee Terms of Reference adopted on 10 December 2025 refers.

SIGNIFICANCE ASSESSMENT | HE AROMATAWAI MATUA

7. This matter is assessed as not significant because it relates to a dog matter affecting the dog owner, Council and the immediate neighbours to the properties of where the dogs are kept.

RECOMMENDATION | NGĀ TAUNAKITANGA

- A. That the Committee considers and determines the objection to:
 - A.1. Confirm the Notice to Abate Nuisance Barking; or,
 - A.2. Cancel the Notice to Abate Nuisance Barking; or,
 - A.3. Modify the Notice to Abate Nuisance Barking.

BACKGROUND | HE KŌRERO TŪĀPAPA

8. [REDACTED] resides at [REDACTED] Levin and owns two dogs kept at the property.
9. There are five dogs in total kept at [REDACTED] two owned by Mr [REDACTED] and another three owned by [REDACTED] [REDACTED]. A notice to abate nuisance barking was also issued to Ms [REDACTED] in November 2025 which has also been objected to. The objection to

Ms [REDACTED] notice is put to the Hearings and Regulatory Committee for determination in a separate report.

10. There is a history of complaints relating to nuisance barking at [REDACTED] Levin with previous enforcement action in 2019, with a previous barking dog abatement notice being issued to another occupant (Ms [REDACTED])
11. Since July 2024, Council has received complaints from neighbouring properties regarding barking from [REDACTED] Levin. These complaints continued right through to November 2025 when the notice was issued.

DISCUSSION | HE MATAPAKINGA

12. Five dogs are kept at [REDACTED] Levin under the ownership of both [REDACTED] and [REDACTED]. Council has received complaints and undertaken monitoring in relation to barking from this location.
13. Where barking cannot be attributed to a specific dog, enforcement action may be directed to multiple dog owners at the property.
14. Between 29 July 2025 and 15 November 2025, Council undertook a number of monitoring assessments from a neighbouring property, which recorded instances of barking from the direction of [REDACTED] Levin.
15. On 17 November 2025, animal control Officers issued a notice to abate barking dog nuisance to Mr [REDACTED]. The notice imposing the following provisions:
 - 15.1. Keep no more than two (2) dogs at [REDACTED] and [REDACTED] collectively and notify Council which two dogs will be kept.
 - 15.2. Rehome any additional dogs to another suitable property/s, which must not be 207 or [REDACTED]. You must then provide Council with confirmation of the new locations of each dog so that Council records can be updated accordingly.
 - 15.3. Do not use [REDACTED] or [REDACTED] for breeding or keeping of puppies with dog numbers and bitches on heat contributing to the established barking nuisance.
 - 15.4. Dogs must not be left outside when no person is home to monitor and control nuisance barking
16. Mr [REDACTED] has objected to this notice and therefore the Committee is required to consider the objection and may confirm, cancel or modify the notice.
17. The Notice to abate barking dog nuisance issued to Mr [REDACTED] on 17 November 2025 is attached as Attachment A.

Options | Ngā Kōwhiringa

18. Section 55 of the Dog Control Act 1996 prescribes that the Committee has the following options:
 - 18.1. Confirm the Notice to Abate Nuisance Barking
 - 18.2. Cancel the Notice to Abate Nuisance Barking
 - 18.3. Modify the Notice to Abate Nuisance Barking

FINANCIAL AND RESOURCING | TE TAHUA PŪTEA ME NGĀ RAUEMI

19. There are no direct costs associated with this matter. Barking dog complaints and the responses to are managed within Dog Control operational budgets.

LEGAL AND RISK | TE TURE ME NGĀ MŌREAREATANGA

20. This matter has been considered in accordance with the New Zealand Bill of Rights Act 1990. The processes set out in the Dog Control Act 1996 provide for the Dog Owner with the opportunity to be heard, and therefore no inconsistencies with the Bill of Rights have been identified.

POLICY IMPACT | NGĀ PĀTANGA I NGĀ KAUPAPA HERE

21. This matter is considered under the Dog Control Act 1996 and is consistent with Council's Dog Control Policy and Dog Control Bylaw. The decision relates to the application of existing legislative requirements, and does not give rise to any changes to Council policy.

COMMUNICATIONS AND ENGAGEMENT | TE WHAKAWHITI PĀRONGO ME TE MAHI

22. The decision of the Hearings and Regulatory Committee will be formally communicated to the Dog Owner following the hearing. Any further communication will be undertaken as required in accordance with the outcome of the decision.

NEXT STEPS | HEI MAHI

23. Following the hearing, the Hearings and Regulatory Committee decision will be formally communicated to the Dog Owner in accordance with statutory requirements. Any subsequent actions will be undertaken in line with the Committee's decision.

Confirmation of statutory compliance

In accordance with sections 76 – 79 of the Local Government Act 2002, this report is approved as:

- a. containing sufficient information about the options and their advantages and disadvantages, bearing in mind the significance of the decisions; and,
- b. is based on adequate knowledge about, and adequate consideration of, the views and preferences of affected and interested parties bearing in mind the significance of the decision.

ATTACHMENTS | NGĀ TĀPIRINGA KŌRERO

No.	Title	Page
A	Attachment A - NOTICE TO ABATE NUISANCE OF BARKING DOG/S – [REDACTED] - [REDACTED] Levin [REDACTED] - 17 November 2025	183



17 November 2025

[REDACTED]
Levin [REDACTED]

Dear [REDACTED]

NOTICE TO ABATE NUISANCE OF BARKING DOG/S – Section 55 (1) (B), Dog Control Act 1996

Following recent noise monitoring carried out by Animal Control, you have now been issued with this Noise Abatement Notice. The purpose of this notice is to require you to take all reasonable provisions as stated within the notice to prevent your dogs from continuing to cause a nuisance by way of loud and persistent barking.

Take note that, to abate the nuisance, in accordance with Section 55(1)(b) of the Dog Control Act 1996, you are hereby required, within seven (7) calendar days of receipt of this Notice, to:

1. Keep no more than two (2) dogs at [REDACTED] and [REDACTED] collectively and notify Council which two dogs will be kept.
2. Rehome any additional dogs to another suitable property/s, which must not be [REDACTED] or [REDACTED]. You must then provide Council with confirmation of the new locations of each dog so that Council records can be updated accordingly.
3. Do not use [REDACTED] or [REDACTED] for breeding or keeping of puppies – with dog numbers and bitches on heat contributing to the established barking nuisance.
4. Dogs must not be left outside when no person is home to monitor and control nuisance barking

Please note that [REDACTED] is not suitable for safely containing your dog(s), which have an established history of rushing at or attacking persons and animals. Council is also not satisfied that nuisance barking can be effectively managed by keeping more than the two approved dogs across both properties, as this would reduce the level of supervision available. For this reason, the limit of two dogs applies collectively across both properties, to support better management of nuisance barking.

If the above steps cannot be achieved, and/or if nuisance barking persists, then all dogs must be removed from both properties in accordance with section 55 (1) (B).

Failure to comply with this notice may result in further enforcement action under the Dog Control Act 1996, **including seizure and impounding of the dogs by Council in accordance with section 56 (2).**

A summary of your right to object to this notice and relevant sections of the Act is attached.

If you have any questions, please contact me on (06) 366 0999.

[REDACTED]
Animal Control Team Lead

**RIGHT OF OBJECTION BARKING DOG
Section 55 Dog Control Act**

- Any person on whom notice is served under this section may, within 7 days of the receipt of the notice, object in writing to the Horowhenua District Council against the requirements of that notice.
- The Horowhenua District Council shall consider the objection and may confirm, modify or cancel the notice.
- No objection under this section shall be considered unless 7 days notice of the date and time when and place at which it is to be considered has been given to the objector, who shall be entitled to be represented and to be heard and may submit evidence and call witnesses in support of his or her objection.
- Upon the determination of the objection, the Horowhenua District Council shall give to the objector a further notice stating the decision of the Council, and, if the effect of the decision is to modify the requirements of the Notice to Abate Nuisance of Barking Dog, shall set out those requirements as so modified.

As from the lodging of an objection with the Horowhenua District Council, and pending the receipt of a further notice upon the determination of the objection, the notice setting out the requirements that are the subject of the objection shall be deemed to be suspended.

PLEASE NOTE - Section 55(7)

Every person commits an offence and is liable on summary conviction to a fine not exceeding \$1,500 who, having been served with a notice under this section,-

- (a) fails or neglects to comply with that notice (not being a notice that has been suspended under subsection (6)) within 7 days of its receipt by that person:
- (b) fails or neglects to comply with any notice as modified or confirmed by a territorial authority under subsection (3) within the time specified by the territorial authority.

Section 56 – Removal of Barking Dog Causing Distress

- (1) This section shall apply in any case where, at any time after a notice under section 55 has been issued,—
- (a) the notice has not been cancelled under subsection (3) of that section; and
 - (b) the notice has not been complied with; and
 - (c) a dog control officer or dog ranger has received a further complaint and has reasonable grounds for believing that the nuisance in respect of which the notice is issued is continuing and is causing distress to any person.
- (2) In any case to which subsection (1) applies, the dog control officer or dog ranger may enter upon the land or premises on which the dog is kept and remove the dog and the dog shall be kept in custody under section 70.
- (3) Nothing in this section shall authorise any dog control officer or dog ranger to enter any dwellinghouse unless—
- (a) he or she is authorised to enter by a warrant issued by an issuing officer (within the meaning of section 3 of the Search and Surveillance Act 2012) made on application by the dog ranger or dog control officer in the manner provided for an application for a search warrant in subpart 3 of Part 4 of the Search and Surveillance Act 2012; and
 - (b) he or she is accompanied by a constable.
- (3A) None of the following persons may act as an issuing officer under this section:
- (a) the mayor or any elected member of the local authority that employs or engages the dog ranger or dog control officer; or
 - (b) any employee of the local authority that employs or engages the dog ranger or dog control officer.
- (4) Where a dog is removed pursuant to subsection (2), the dog control officer or dog ranger shall give written notice in the prescribed form to the owner of the dog or, if the owner is not present, the person for the time being appearing to be in charge of the land or premises and, if no person is present on the property, shall leave such notice in some conspicuous place on the land or premises.
- (5) The provisions of subparts 1, 3, 7, 9, and 10 of Part 4 of the Search and Surveillance Act 2012 apply in respect of an authority applied for or issued under subsection (3).

Section 15 – Obligations of Dog Owners

- (1) The obligations imposed on dog owners by this Act require every owner of a dog—
- (a) to ensure that the dog is registered in accordance with this Act, and that all relevant territorial authorities are promptly notified of any change of address or ownership of the dog;
 - (b) to ensure that the dog is kept under control at all times;
 - (c) to ensure that the dog receives proper care and attention and is supplied with proper and sufficient food, water and shelter;
 - (d) to ensure that the dog receives adequate exercise;
 - (e) to take all reasonable steps to ensure that the dog does not cause a nuisance to any other person, whether by persistent and loud barking or howling or by any other means;
 - (f) to take all reasonable steps to ensure that the dog does not injure, endanger, intimidate, or otherwise cause distress to any person;
 - (g) to take all reasonable steps to ensure that the dog does not injure, endanger, or cause distress to any stock, poultry, domestic animal, or protected wildlife;
 - (h) to take all reasonable steps to ensure that the dog does not damage or endanger any property belonging to any other person;
 - (i) to comply with the requirements of this Act and of all regulations and bylaws made under this Act.
- (2) Nothing in this Act limits the obligations of any owner of a dog to comply with the requirements of any other Act or of any regulations or bylaws regulating the control, keeping, and treatment of dogs.